



SCOPE OF WORK

Interior and exterior renovation of existing two story residential building with basement to include.

- 1. Exterior Sidding and Roofing
- 2. Flooring
- 3. Plumbing piping repairs and replacement as needed.
- 4. Interior Painting
- 5. Central Forced Air Heating and Cooling System
- 6. Appliance Replacement
- 7. Replacement of Windows and Interior Doors
- 8. Code Compliance Insulation
- 9. New Ceiling Lights, Replacement of Electrical Wiring and Outlets Per Code.

DRAWING LIST

- CS-001 - Project Cover Sheet

S-001 - Survey

EX-100 - Building Foot Print

EX-101 - Existing Floor Plans

A-100 - Architectural Notes

A-101 - Demolition Plans

A-102 - Architectural Plans

A-103 - Finish Notes - Schedule

A104 - Floor Finish Plans

A-301 - Interior - Exterior Wall Sections

A-400 - Window - Door Notes & Schedule

A-401 - Window - Door Tags
- E-0.0 - Electrical - Lighting Schedule

E-1.0 - Electrical Power Plans

E-1.1 - Electrical Lighting Plans

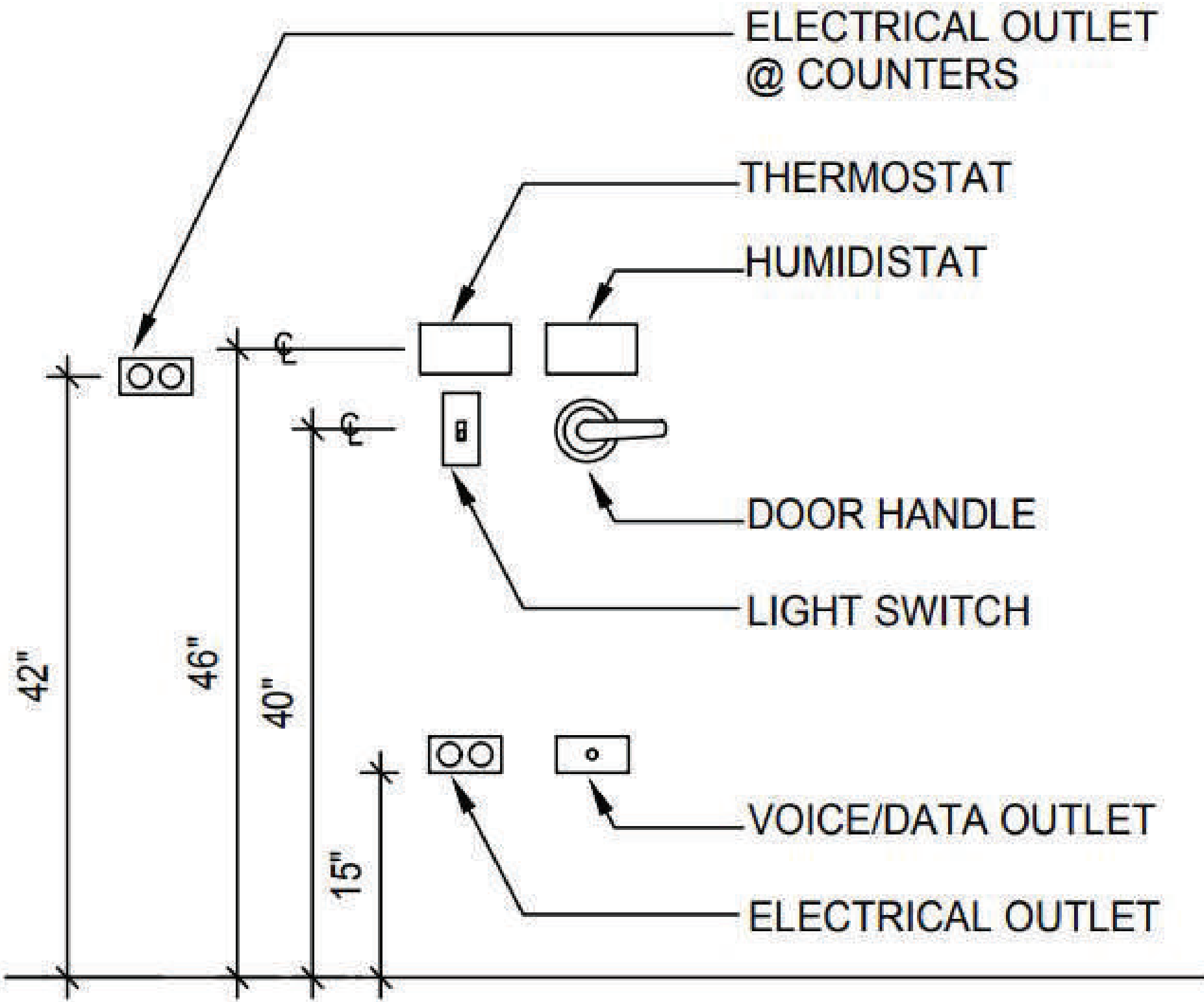
M-0.0 - Mech. Notes & Schedule

M-1.0 - Mechanical Plans

P-0.0 - Plumbing Notes & Schedule

P-1.0 - Plumbing Plans
- Updated notes are indicated with (XX) symbol.

MOUNTING HEIGHTS



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106 E 22nd St,
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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

Date:
2 - June - 2024

Revision:
R- 2

Scale:
N.T.S

Sheet Title:
Project Cover Sheet

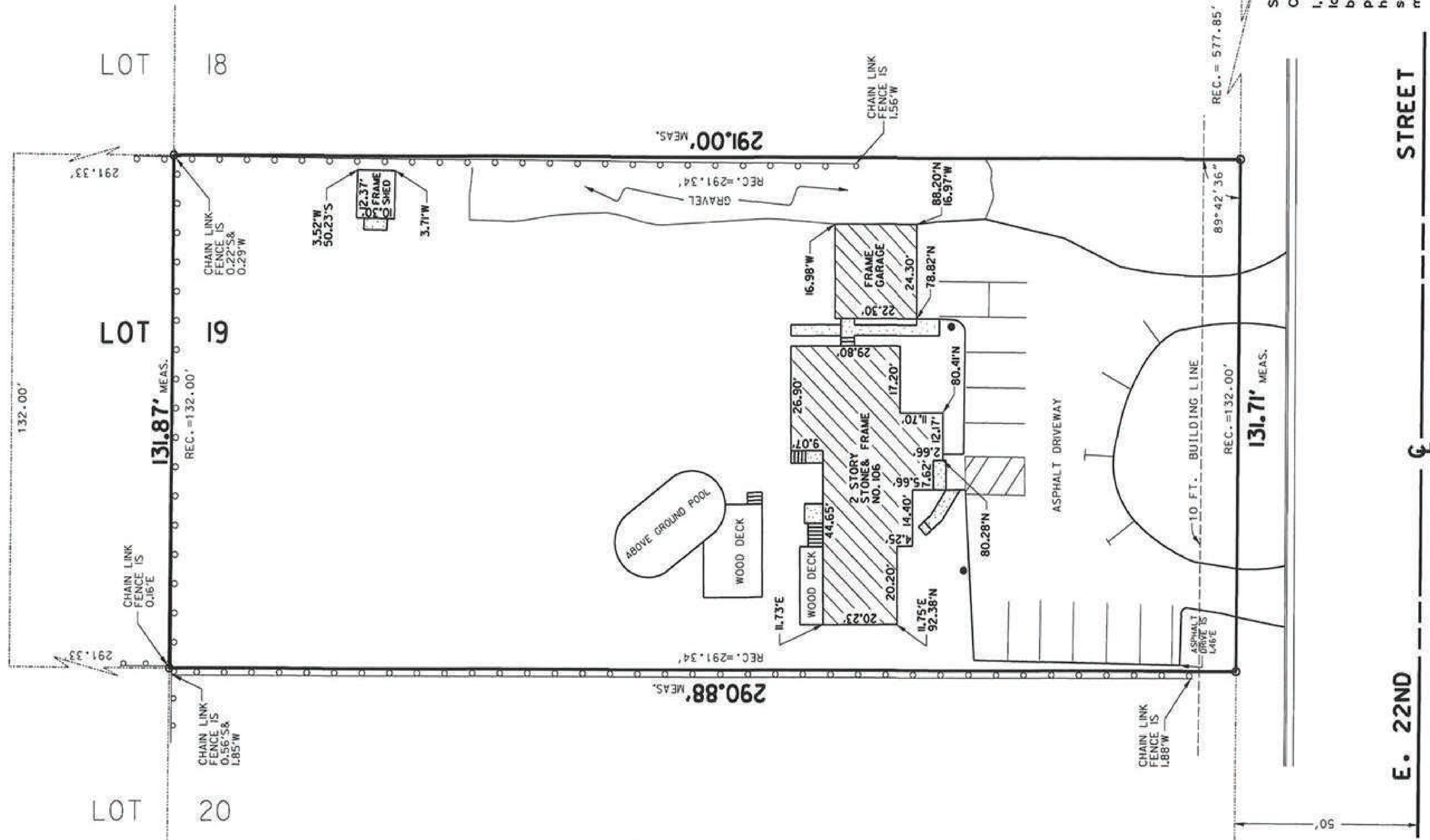
Sheet Number:
CS-001

PLAT OF SURVEY

OF

THE SOUTH 1/2 OF LOT 19 IN FREDERICK H. BARTLETT'S HILLSDALE FARM, A SUBDIVISION OF THE WEST 1/2 OF SECTION 20 AND THE EAST 50 FEET OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PIN NO.: 06-20-302-008
COMMONLY KNOWN AS: 106 E. 22nd Street, Lombard, IL 60148



Scale: 1 Inch = 30 Feet
Distances are marked in feet and decimals.
KANTHAPHIXAY LAND SURVEYING

RICHARD R. KANTHAPHIXAY
17 N. Ridge Court
Streamwood, IL 60107
Phone: (630)736-5633
Cell: (630)973-7491

LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- SET IRON PIPE
- IRON PIPE OR ROD NOT FOUND
- CHAIN LINK FENCE
- WOOD OR IRON FENCE
- WIRE FENCE
- CONCRETE
- BRICK PAVER

NOTES:

- Utility data other than physical evidence visible on the ground is shown as per records obtained from private and public sources as indicated and should be assumed to be approximate.
- Compare all points before building by some and at once report any difference. For building and easement lines and other restrictions not shown hereon, refer to your abstract, deed contract or zoning ordinance.
Ordered By: L. Ione
Field work done: 7/15/2023
Drawn by: RK



STATE OF ILLINOIS) S.S.
COUNTY OF COOK)

I, RICHARD R. KANTHAPHIXAY, a Illinois Professional Land Surveyor, hereby certify that a survey has been made, at and under my direction, of the property described above, and that the survey hereon drawn is a correct representation of said survey and conforms to the current Illinois minimum standards for a boundary survey.

Streamwood, Illinois, July 16, A.D. 2023

By *[Signature]*
Illinois Professional Land Surveyor
Certificate No. 3807
Expiration date: 11-30-2024

02



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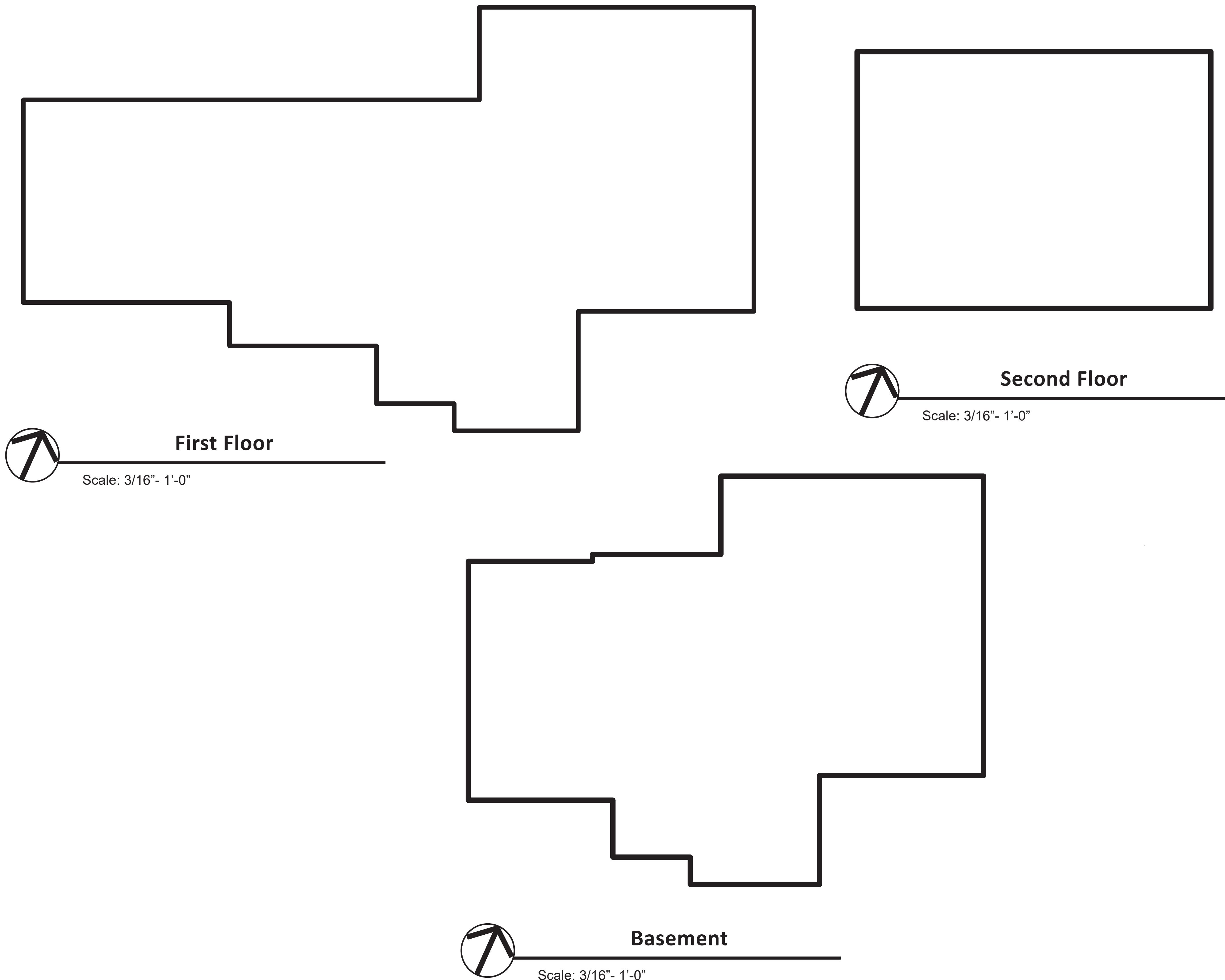
Date:
2 - June - 2024

Revision:
R- 2

Scale:
As Noted

Sheet Title:
Survey

Sheet Number:
S-001



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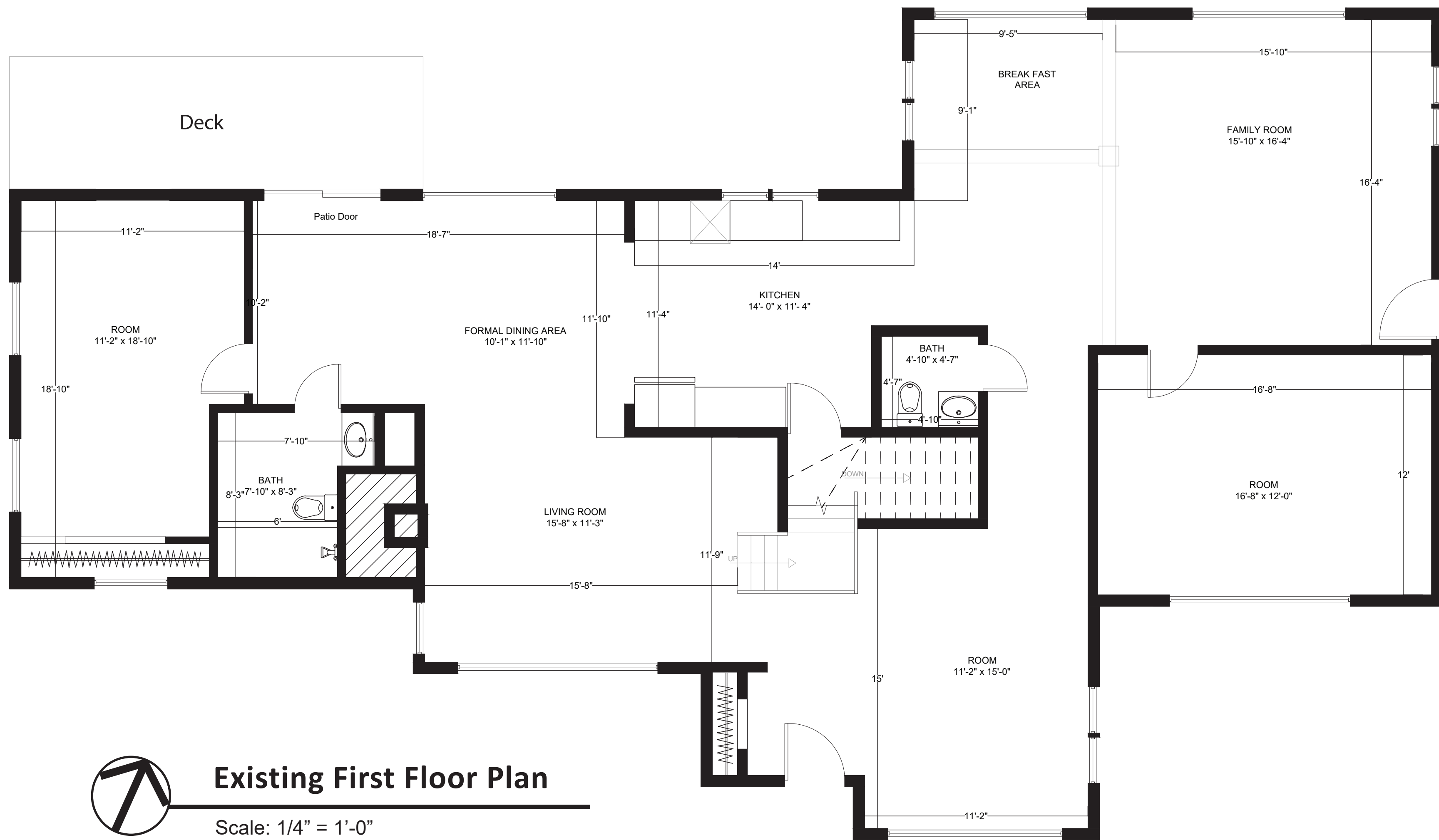
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2 - June - 2024

Revision:
R- 2

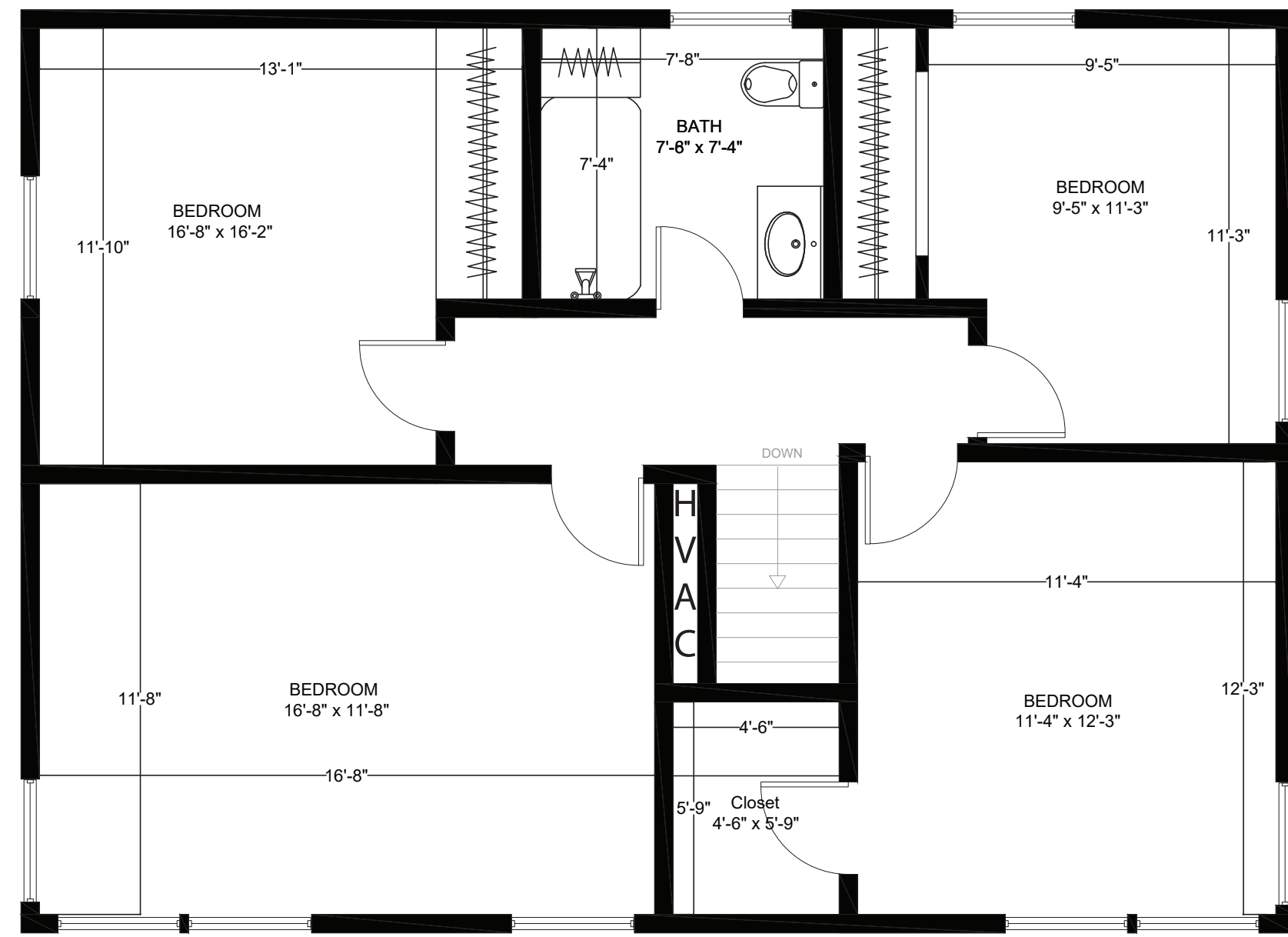
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Sheet Title:
Building Foot Print

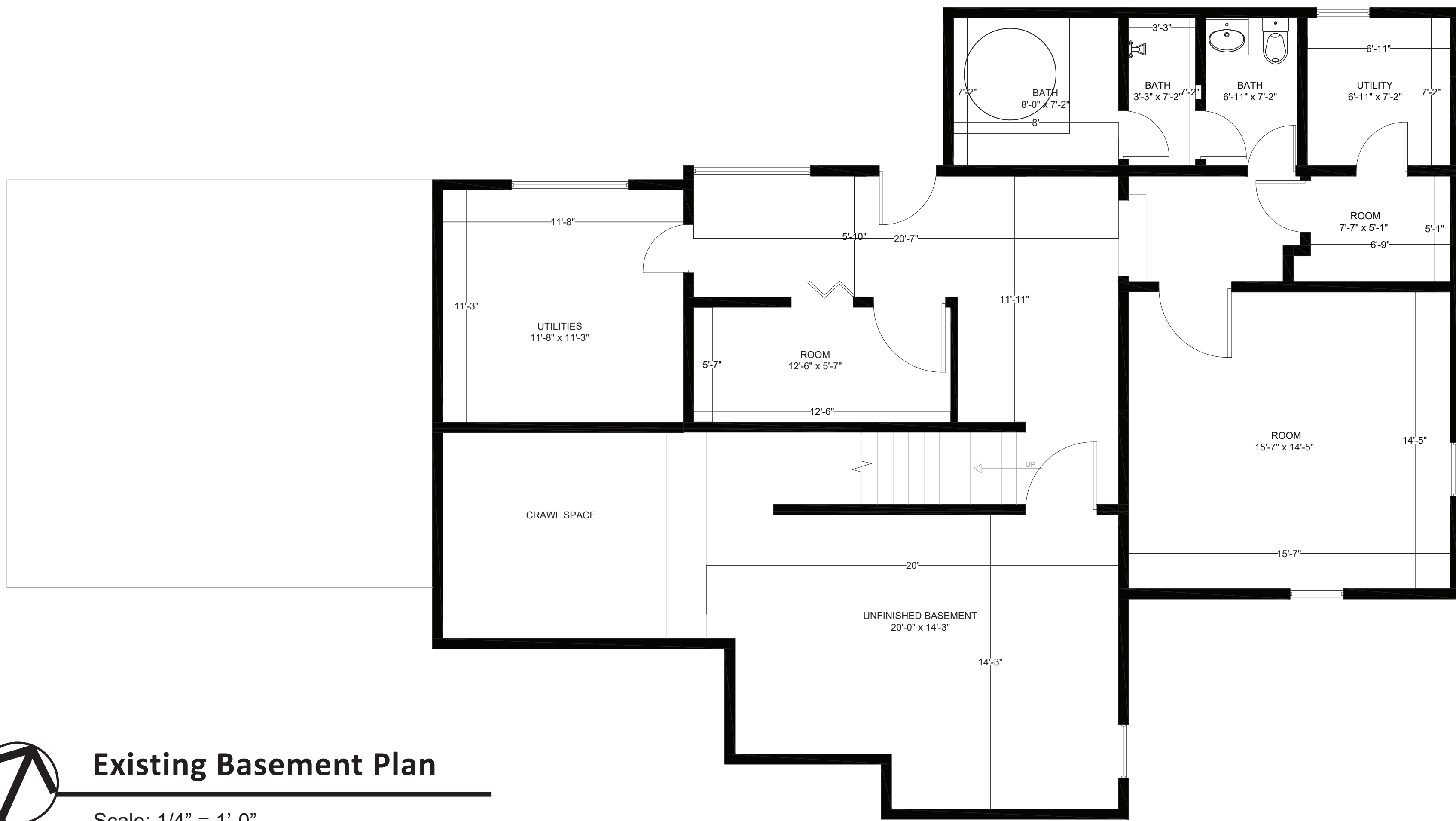
Sheet Number:
EX-100



 **Existing First Floor Plan**
Scale: 1/4" = 1'-0"



 **Existing Second Floor Plan**
Scale: 1/4" = 1'-0"



 **Existing Basement Plan**
Scale: 1/4" = 1'-0"



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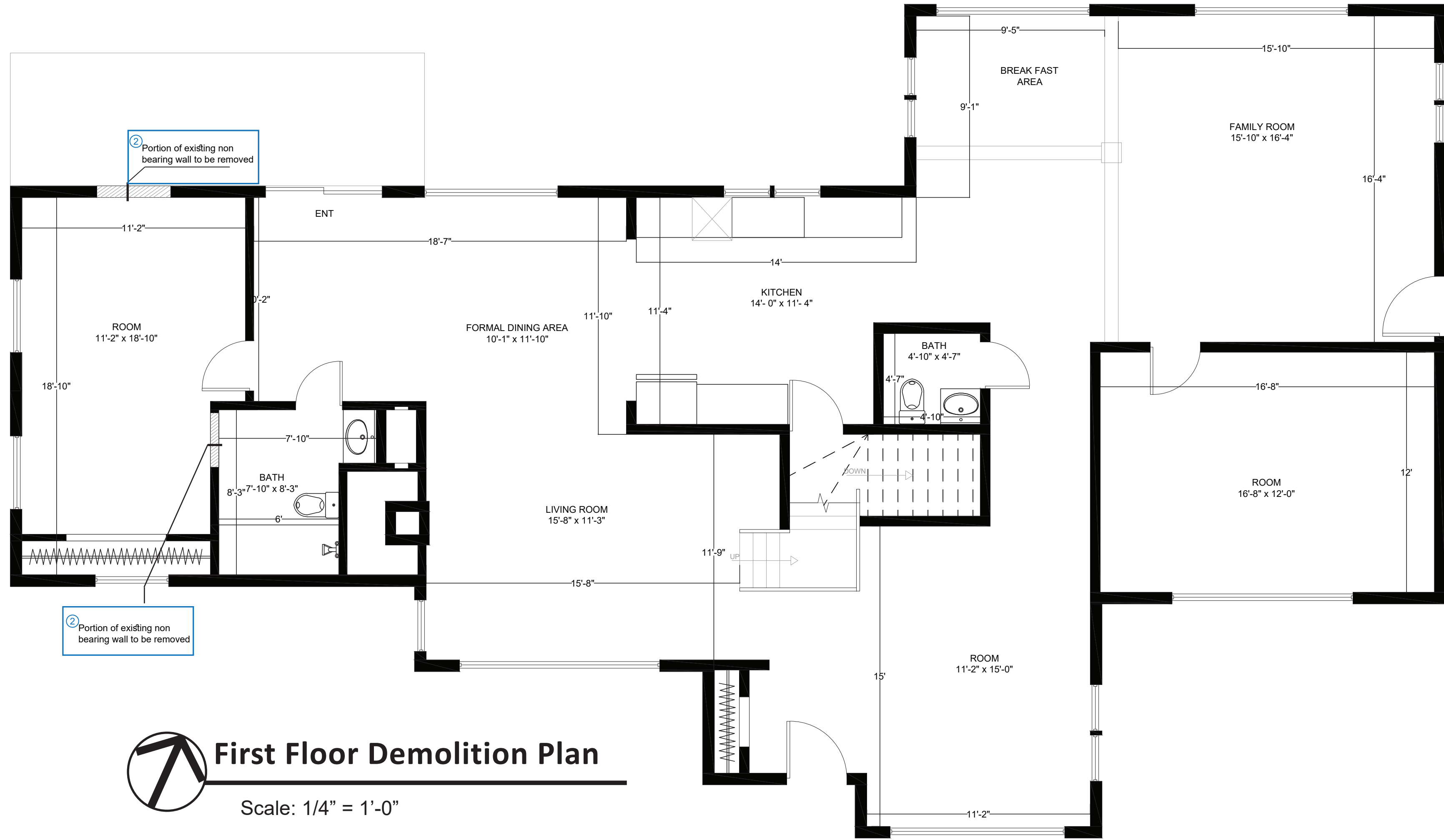
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R- 2

Scale:
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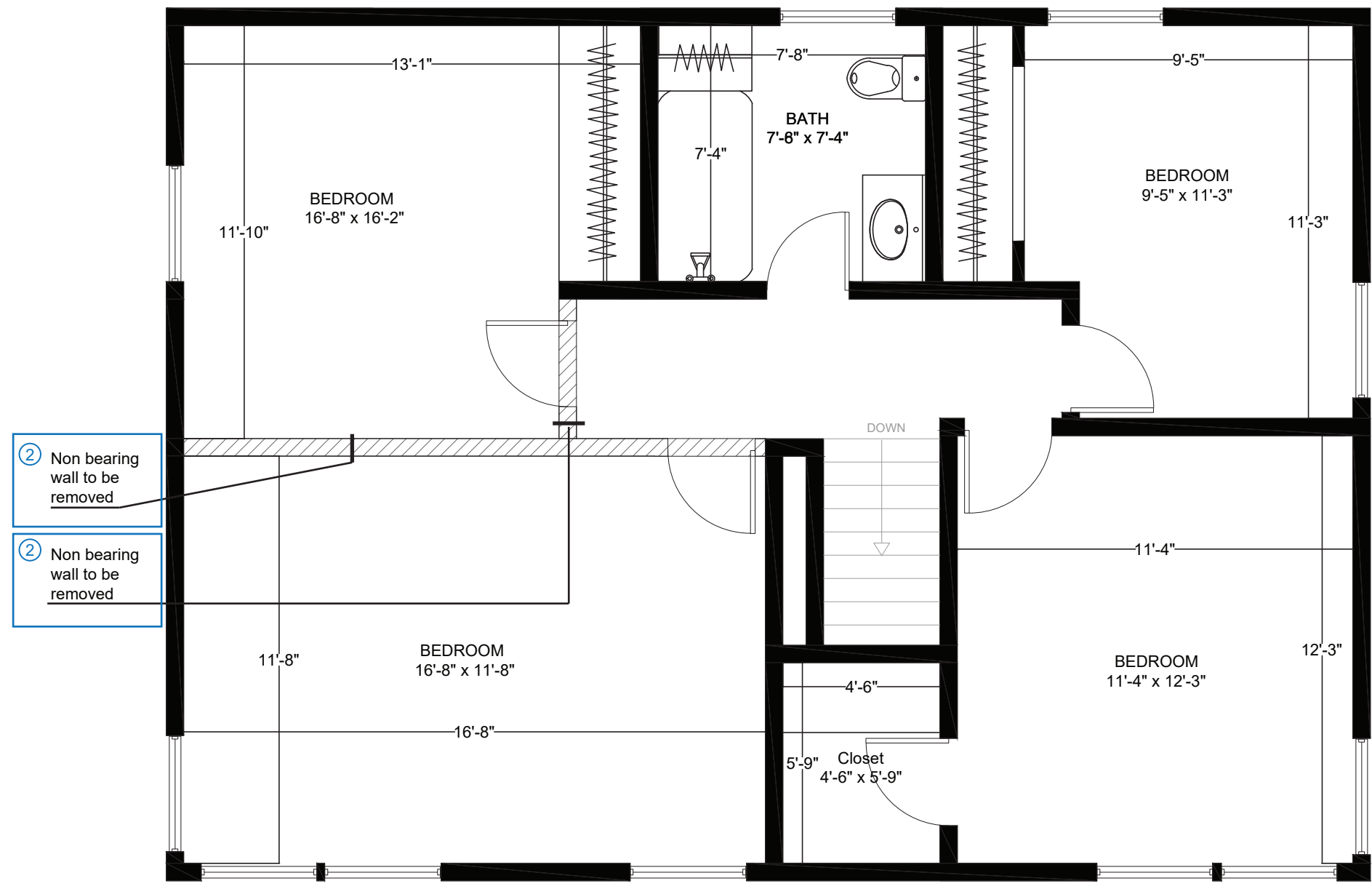
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Existing Floor Plans

Sheet Number:
EX-101

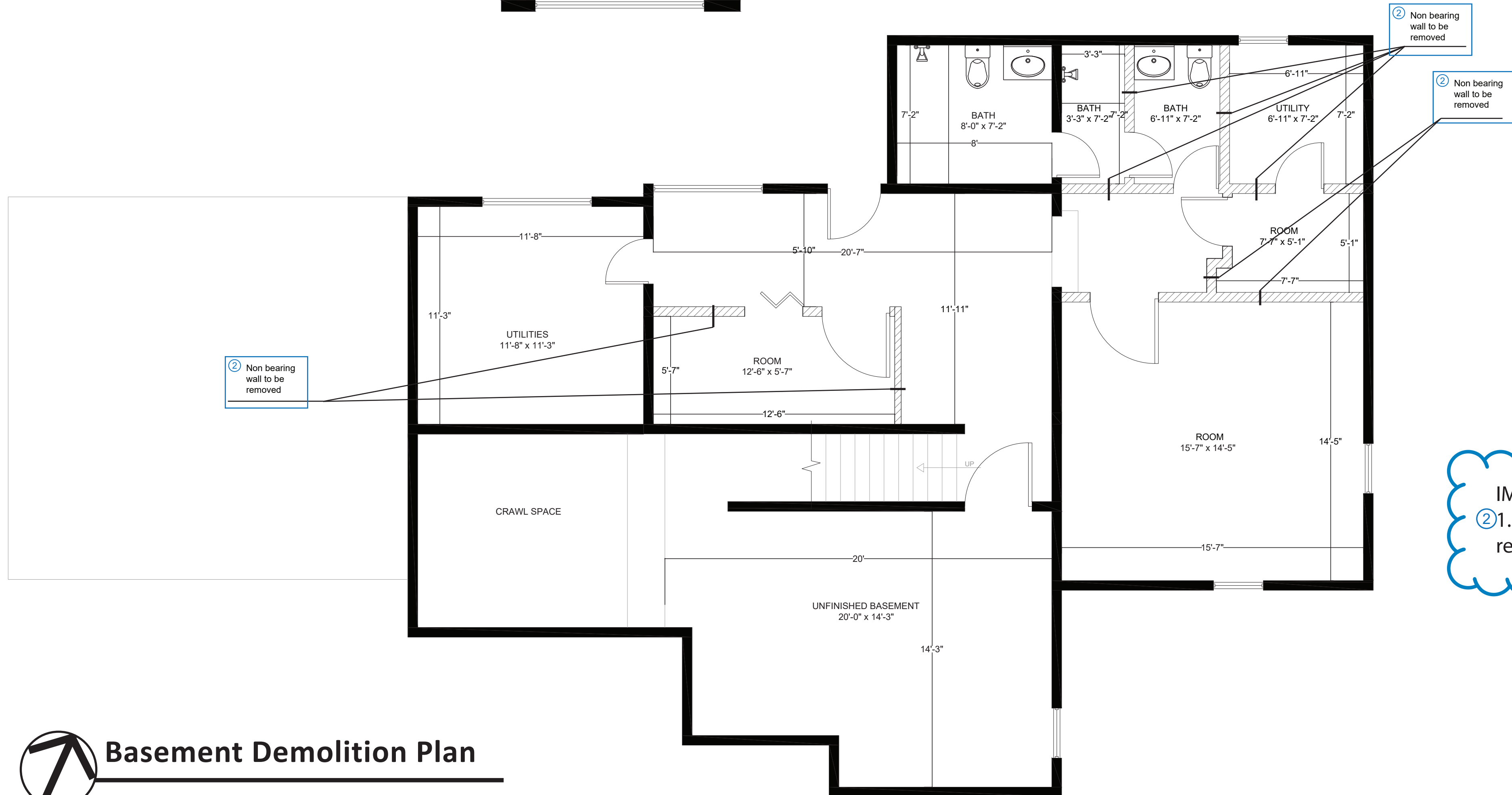
ARCITECTORAL NOTES		10. ALL MATERIALS SHALL BE NEW. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH BUILDING CODE REGULATIONS AND MANUFACTURER'S INSTRUCTIONS. ALL MATERIALS FOR WHICH UNDERWRITERS LABORATORIES ISSUES A LABEL SHALL CARRY THE U.L. LABEL. PROVIDE ADDITIONAL CONTROLS, ACCESSORIES AND DEVICES TO COMPLETE THE INSTALLATION WHETHER OR NOT SHOWN IN THE PERMIT DOCUMENTS.		
1. VERIFY ALL EXISTING CONDITIONS, MATERIALS, DIMENSIONS, AND UTILITIES IN FIELD PRIOR TO EXECUTION OF THE WORK. 2. PERFORM ALL CUTTING, PATCHING, AND REPAIR WORK AS REQUIRED TO COMPLETE THE PROJECT. 3. OWNER WILL OBTAIN THE GENERAL PERMIT, GENERAL CONTRACTOR SHALL OBTAIN AND ARRANGE FOR ALL OTHER PERMITS REQUIRED FOR COMPLETION OF THE PROJECT, ARRANGE FOR ALL NECESSARY INSPECTIONS AND TESTS AS REQUIRED BY THE CITY OF CHICAGO AND MAKE ALL REQUIRED SUBMITTALS. 4. DESIGN BUILD: PORTIONS OF THE WORK SHALL INDICATE THAT WORK WILL BE PERFORMED ON A 'DESIGN/BUILD' BASIS. IN SUCH CASES, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COMPLETE DESIGN, ENGINEERING, AND INSTALLATION OF SUCH SYSTEMS OR EQUIPMENT, AND SHALL WARRANTY TO THE OWNER THAT SUCH WORK SHALL ADEQUATELY MEET THE NEEDS AND REQUIREMENTS OF THE OWNER AND OF THE PROJECT AS PLANNED AND ITS INTENDED USES AS WELL AS COMPLY COMPLETELY WITH ALL APPLICABLE CODES, ORDINANCES, AND GOVERNING REGULATIONS. IN NO WAY SHALL A DESIGN/BUILD ARRANGEMENT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE HIS OBLIGATION TO MEET SUCH NEEDS AND REQUIREMENTS. DESIGN/BUILD WORK SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: *HVAC SYSTEM *PLUMBING SYSTEM *ELECTRICAL SYSTEM *STRUCTURAL SYSTEM (TRUSSES, TRUSS GIRDERS) *REAR DECK/STAIR 5. COORDINATE ALL WORK WITH OTHER TRADES AND WITH THE OWNER. 6. PROTECT PROPERTY AND OWNER OPERATIONS FROM DAMAGE AND/OR DELETERIOUS ACTIVITIES. REPAIR ANY DAMAGE THAT MAY OCCUR AT ONCE. 7. PROVIDE ALL TEMPORARY LIGHTING, POWER, AND HEAT AND VENTILATION, GUARDS AND ENCLOSURES, SCAFFOLDING SYSTEMS, SECURITY AND WEATHER PROTECTION AS REQUIRED TO PROPERLY PERFORM THE WORK AND INSURE THE SAFETY OF THE WORKMEN AND PROJECT OCCUPANTS. MAINTAIN TEMPORARY SYSTEMS THROUGHOUT DURATION OF THE WORK OR UNTIL PERMANENT SYSTEMS ARE COMPLETED. 8. THE CONTRACTOR AND ALL OF HIS SUBCONTRACTORS, EMPLOYEES AND PERSONNEL SHALL BE INSURED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH CONTRACT DOCUMENTS. ARCHITECT SHALL BE NAMED AS 'ADDITIONAL INSURED' ON INSURANCE POLICIES OF ALL CONTRACTORS ON THE PROJECT AND SHALL BE PROVIDED EVIDENCE OF SAME PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES. 9. MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. REMOVE ALL DEBRIS, EXCESS MATERIALS, DIRT AND SIMILAR ITEMS AND PROPERLY DISPOSE OF OFF SITE.		DEMOLITION NOTES		
		1. CONTRACTOR SHALL VISIT AND INSPECT THE SITE TO FAMILIARIZE ONESELF WITH THE JOB CONDITIONS PRIOR TO BIDDING AND WORK COMMENCEMENT. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING WORK THAT IS REQUIRED FOR THE PROJECT. 2. CONTRACTOR IS TO THOROUGHLY EXAMINE ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED AND WHERE ANY EXISTING CONSTRUCTION IS TO BE REMOVED OR MODIFIED. 3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURE CONDITIONS/DIMENSIONS AND REPORT ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS TO THE ARCHITECT IMMEDIATELY IN WRITING BEFORE WORK COMMENCEMENT. 4. SCOPE OF DEMOLITION WORK IS TO INCLUDE, BUT NOT BE LIMITED TO, ALL DEMOLITION, REMOVAL, DISCONNECTIONS, REROUTING AND STRUCTURAL BRACING, TEMPORARY SHORING & SUPPORTS AS REQUIRED. 5. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIAL AND LABOR TO FULLY COMPLY WITH THE SCOPE OF WORK, WHETHER OR NOT SPECIFIED OR SHOWN IN THE PERMIT DOCUMENTS. 6. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES THE SHUTTING OFF OF UTILITIES PRIOR TO DEMOLITION. CONTRACTOR SHALL CLEARLY IDENTIFY ALL UTILITIES THAT ARE SHUT OFF OR CAPPED. 7. CAP OFF ALL PLUMBING LINES TO FIXTURES BEING REMOVED. 8. CONTRACTOR TO STRICTLY ADHERE TO THE CITY OF CHICAGO BUILDING CODE, ALL OTHER GOVERNING CODES, AND OSHA REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE EXECUTION OF ALL WORK. 9. CONTRACTOR SHALL INFILL OPENINGS CREATED BY THE REMOVAL OF PIPES, CONDUITS, DUCTWORK, ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN REQUIRED FIRE RATINGS. 10. CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, ETC. CAUSED BY THIS WORK AS SOON AS IT ACCUMULATES. CONTRACTOR SHALL PROVIDE ON-SITE DUMPSTER. 11. CONTRACTOR SHALL VERIFY AND COORDINATE PLACEMENT OF DUMPSTER WITH OWNER AND IN ACCORDANCE WITH REQUIREMENTS OF THE CITY OF CHICAGO.		106 E 22nd St, Lombard, IL 60148 GENERAL NOTES THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT FROM THE OWNER AND THE PROJECT CONSULTANTS. DO NOT SCALE DRAWINGS. OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR USE OF INCORRECT SCALE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.
		Date: 2 - June - 2024 Revision: R- 2		
		Scale: N.T.S		
		Sheet Title: Architectural Notes		
Sheet Number: A-100				



 **First Floor Demolition Plan**
Scale: 1/4" = 1'-0"



110V  **Second Floor Demolition Plan**
Scale: 1/4" = 1'-0"



 **Basement Demolition Plan**
Scale: 1/4" = 1'-0"

IMPORTANT NOTES
②1. All walls and section of walls that are removed are non-bearing walls



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Date:
2 - June - 2024

Revision:
R- 2

Scale:
1/4" = 1'-0"

Sheet Title:
Demolition Plans

Sheet Number:
A-101



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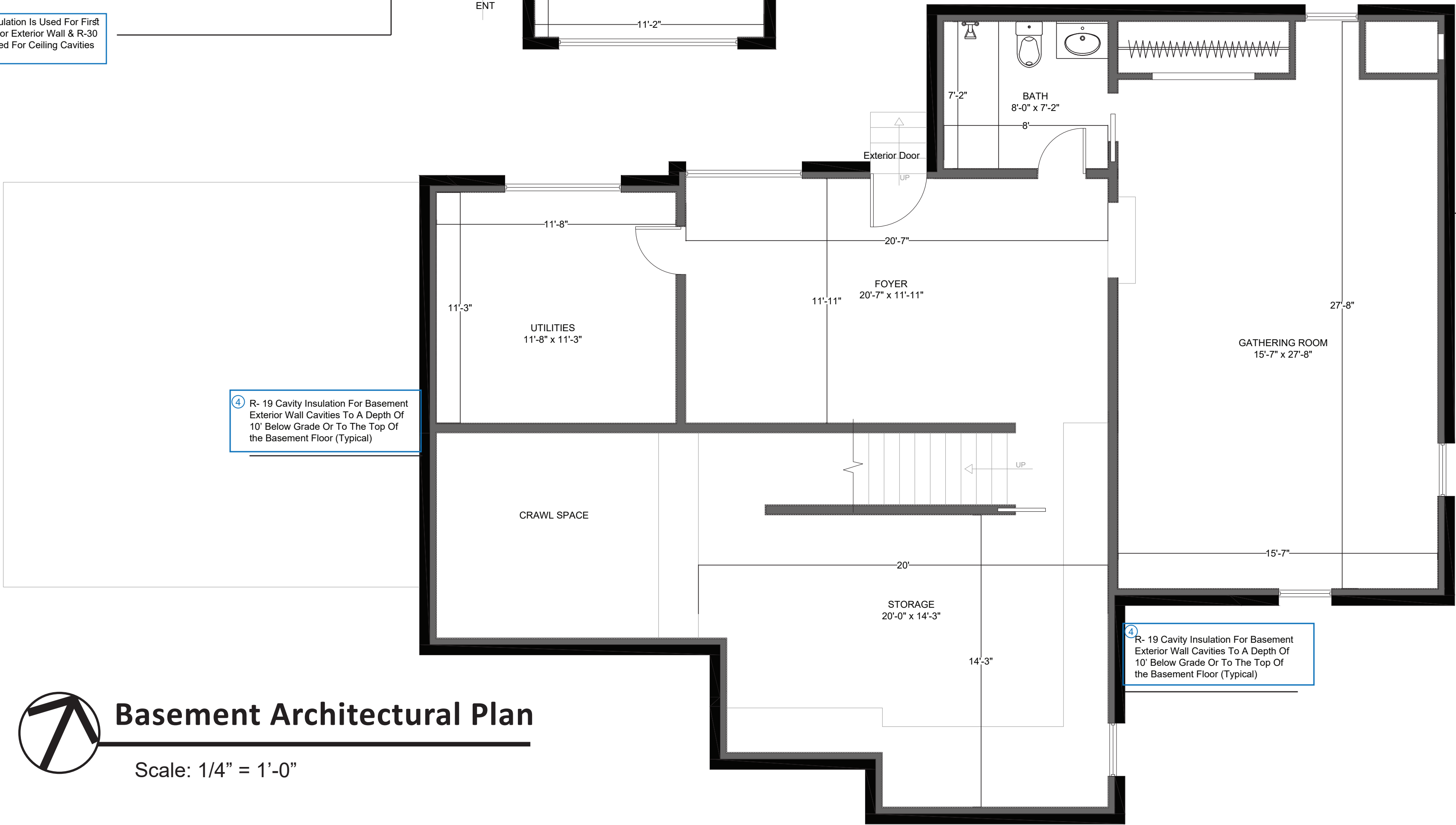
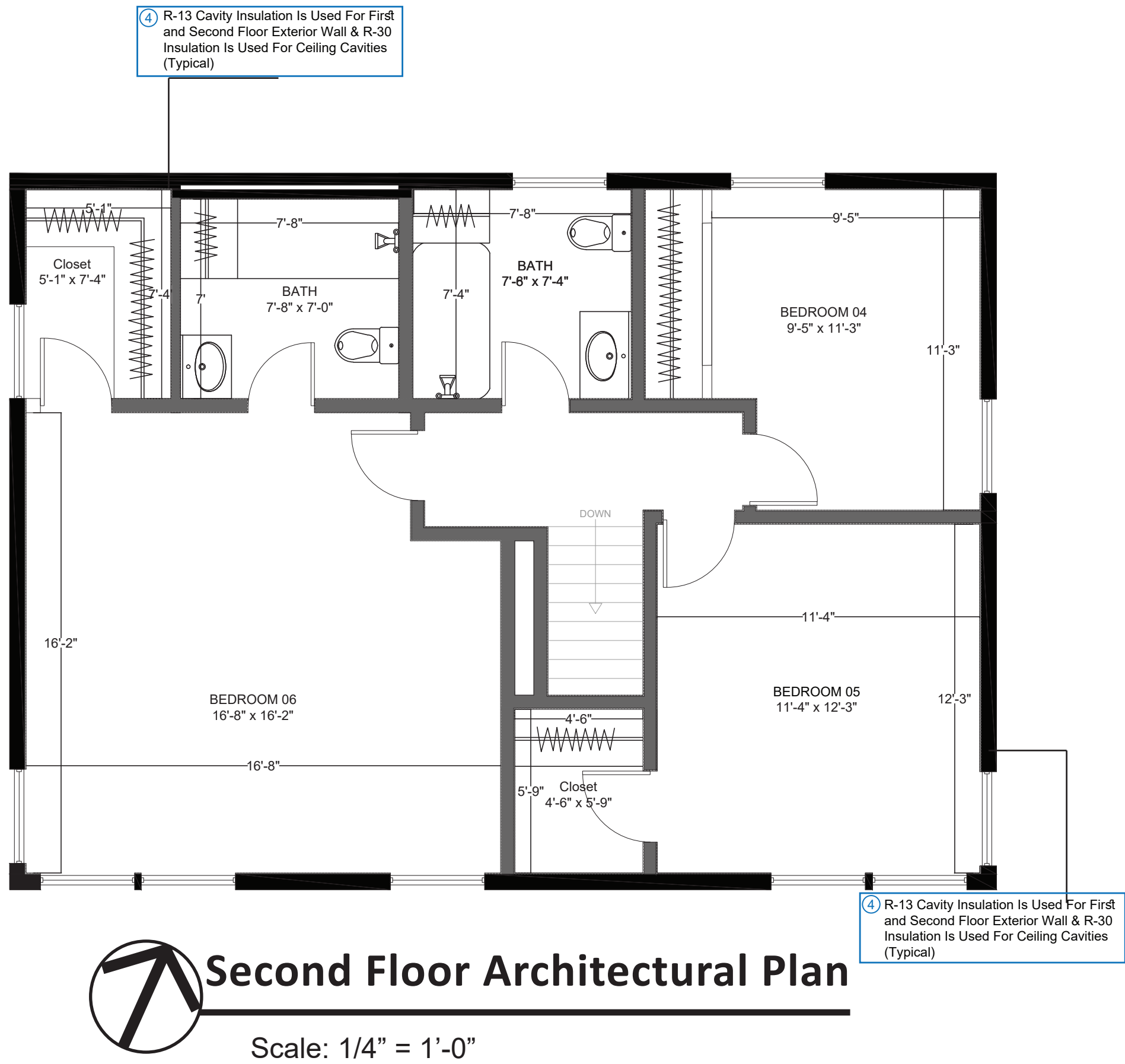
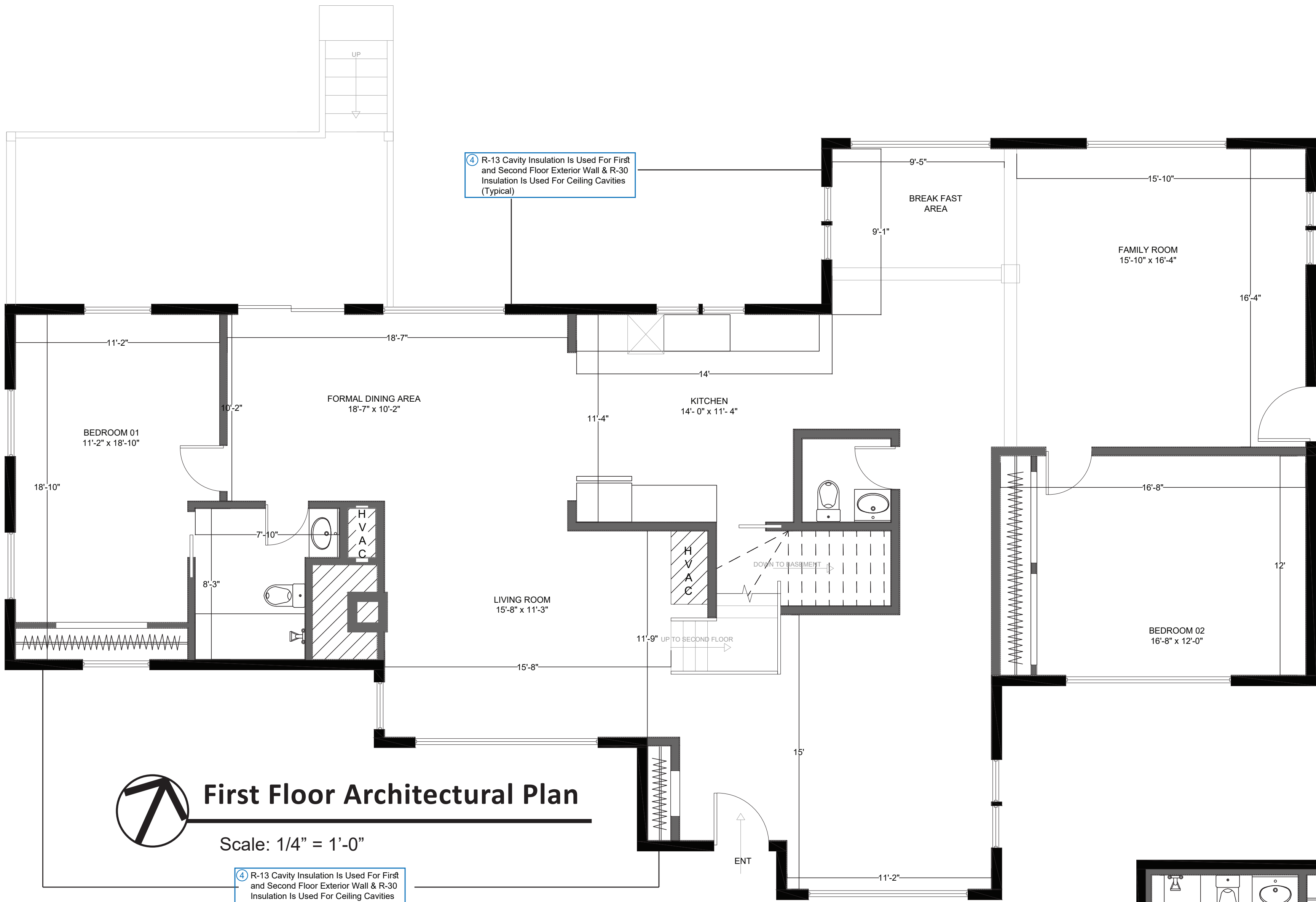
Date:
2 - June - 2024

Revision:
R- 2

Scale:
1/4" = 1'-0"

Sheet Title:
Architectural Plans

Sheet Number:
A-102



NOTES

- ④ 1. R-13 cavity insulation is used for first and second floor exterior wall cavities
- ④ 2. R-19 cavity insulation is used for basement floor exterior wall cavities to a depth of 10' below grade or to the top of basement floor
- ④ 3. R-30 cavity insulation is used for ceiling cavities.

FINISH SCHEDULE

GENERAL FINISH NOTES

FINISH SCHEDULE				
	DISCRIPTION	MATERIAL	STYLE/FINISH	REMARKS
FLOOR	BEDROOM	LVT	12MIL CLICK LOCK	SIZE: 48" x 7-1/8"
	DINING / FAMILY ROOM	LVT	12MIL CLICK LOCK	SIZE: 48" x 7-1/8"
	KITCHEN	LVT	12MIL CLICK LOCK	SIZE: 48" x 7-1/8"
	BOH	LVT	12MIL CLICK LOCK	SIZE: 48" x 7-1/8"
	BATHROOM	PORCELIAN TILE	POLISHED	SIZE: 12" x 24"
WALL	SHOWER/BATH-TUB	PORCELIAN TILE	POLISHED	SIZE: 12" x 24"
	WALL GYPSUM BOARD		FIRECODE X DRYWALL	THROUGHOUT WALLS
	CEMENT BOARD	-	EDGEGUARD	1/2 in. x 3 ft. x 5 ft, SHOWER/BATH TUB WALLS
CEILING	GYPSUM BOARD	-	FIRECODE X DRYWALL	THROUGHOUT WALLS
PAINT	CEILING	SHERWIN WILLIAMS	CHB	THROUGHOUT CEILING
	WALLS	ALABASTER	FINISH EGGSHELL	THROUGHOUT WALLS
	BATHROOM	ULTRA PURE	WHITE	THROUGHOUT BATHROOM CEILING AND WALLS
	DOORS/TRIMS	ULTRA PURE	WHITE, SEMI GLOSS	
COUNTER	COUNTERTOP	CALACATTA	EIFFEL	3CM POLISHED
	BACKSPLASH	CALACATTA	EIFFEL	3CM POLISHED
BASE	BASEBOARD MOULDING	SOLID	PINE WOOD	1/2" x 6" x 12'
	SHOE MOULDING	SOLID	PINE WOOD	1/2"x 1" x 8'
INSULATION	CEILING	R-49	FIBERGLASS INSULATION	24 in. x 48 in.
	BASEMENT WALLS	R-19	FIBERGLASS INSULATION	15.25 in. x 93 in.
	WALLS	R-13	FIBERGLASS INSULATION	15 in. x 32 ft.

1. ALL FINISHES SHALL BE CLASS 1, 0-25 FLAME SPREAD RATING.
2. ALL DRYWALL SURFACES SHALL BE PAINTED EXCEPT WHERE CERAMIC TILE OR A WALL COVERING FABRIC IS SPECIFIED.
3. PROVIDE CORNER AND J-BEADS AT ALL TERMINATIONS AND CORNERS OF GYPSUM BOARD.
4. ALL CLOSET OR UTILITY SHELVING TO BE MEDIUM DENSITY FIBERBOARD WITH FIBERFACE GRADE 1 WITH OIL BASE PAINT FINISH. PROVIDE WOOD CLOSET ROD WITH FINISHED METAL SOCKETS AND INTERMEDIATE SUPORTS AS REQUIRED.
5. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL, UNLESS NOTED OTHERWISE.
6. GENERAL CONTRACTOR IS TO COORDINATE STAIR CONSTRUCTION WITH FINAL FLOOR FINISH SELECTIONS TO OBTAIN PROPER HEIGHTS.
7. REVIEW LAYOUT OF STONE, TILE AND CERAMIC TILE WITH ARCHITECT PRIOR TO INSTALLATION. ALL GROUT LINES TO ALIGN VERTICALLY AND HORIZONTALLY AND AT ALL INTERSECTIONS AND CORNERS.
8. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHROOMS AND OTHER WET LOCATIONS. PROVIDE 1/2 " CEMENTIOUS BACKER BOARD AT ALL TILE LOCATIONS UNLESS NOTED OTHERWISE. AT SHOWER PANS, NO SCREWS SHALL BE LOCATED IN THE BOTTOM 8" OF THE WALL.
9. PROVIDE BLOCKING AT ALL BATHROOM ACCESSORIES, ELECTRICAL LOCATIONS, PLUMBING, ETC. AND AS REQUIRED FOR PROPER INSTALLATION AND SUPPORT.
10. PROVIDE WOOD OR MARBLE THREEHOLDS AS REQUIRED OR AS NOTED AT ALL FLOOR MATERIAL TRANSITIONS.



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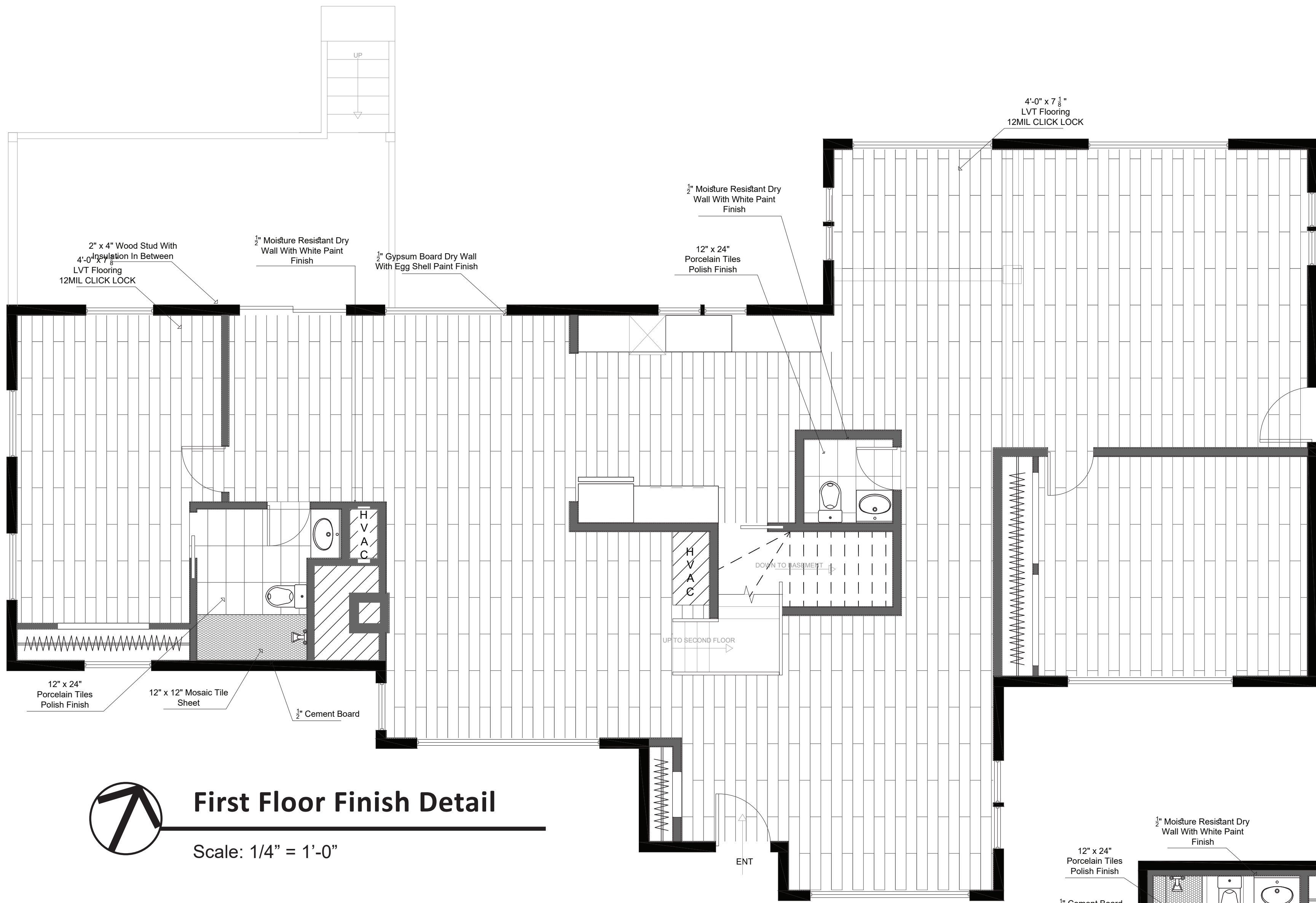
Date:
2 - June - 2024

Revision:
R- 2

Scale:
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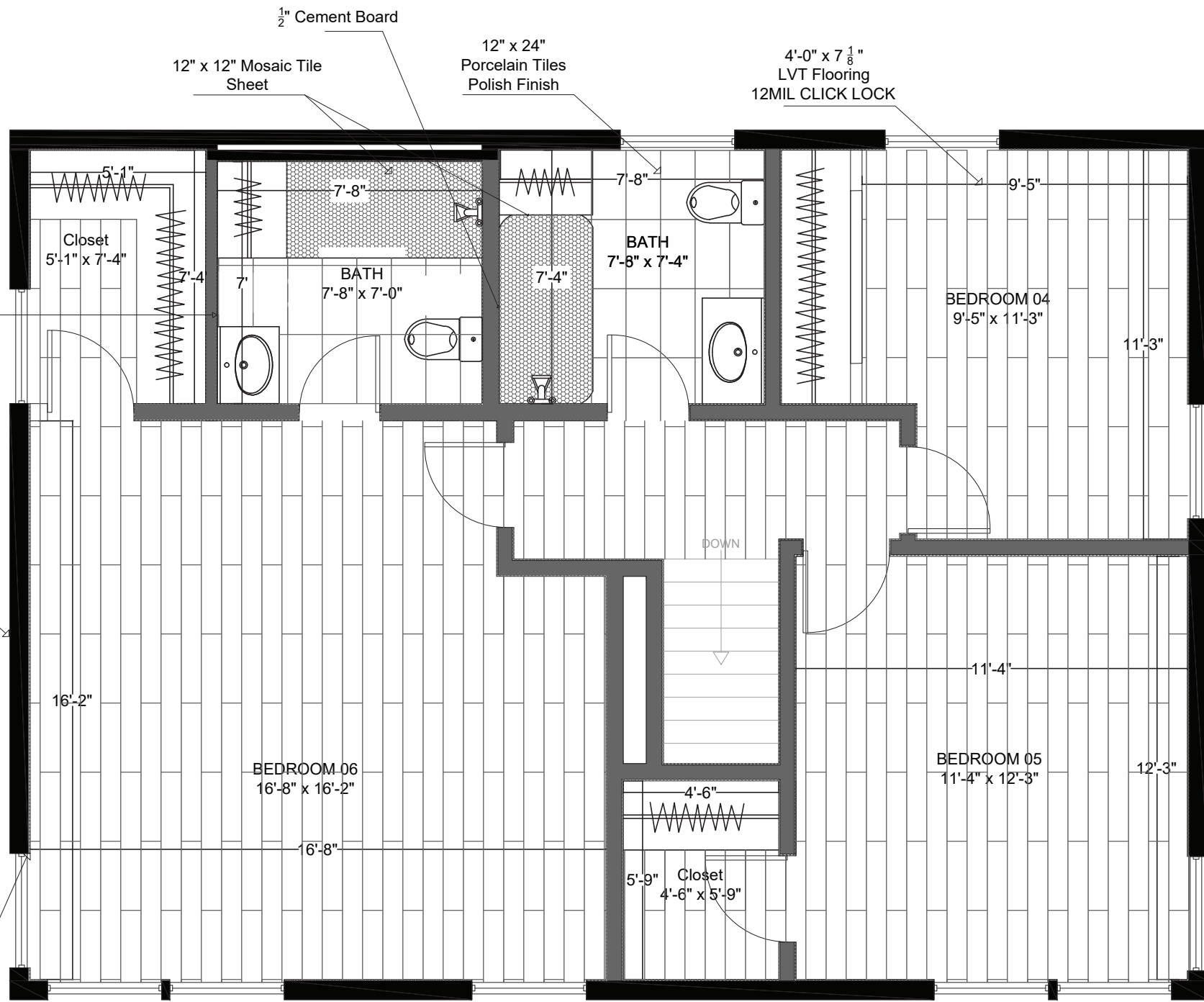
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Finish Notes -Schedule

Sheet Number:
A-103



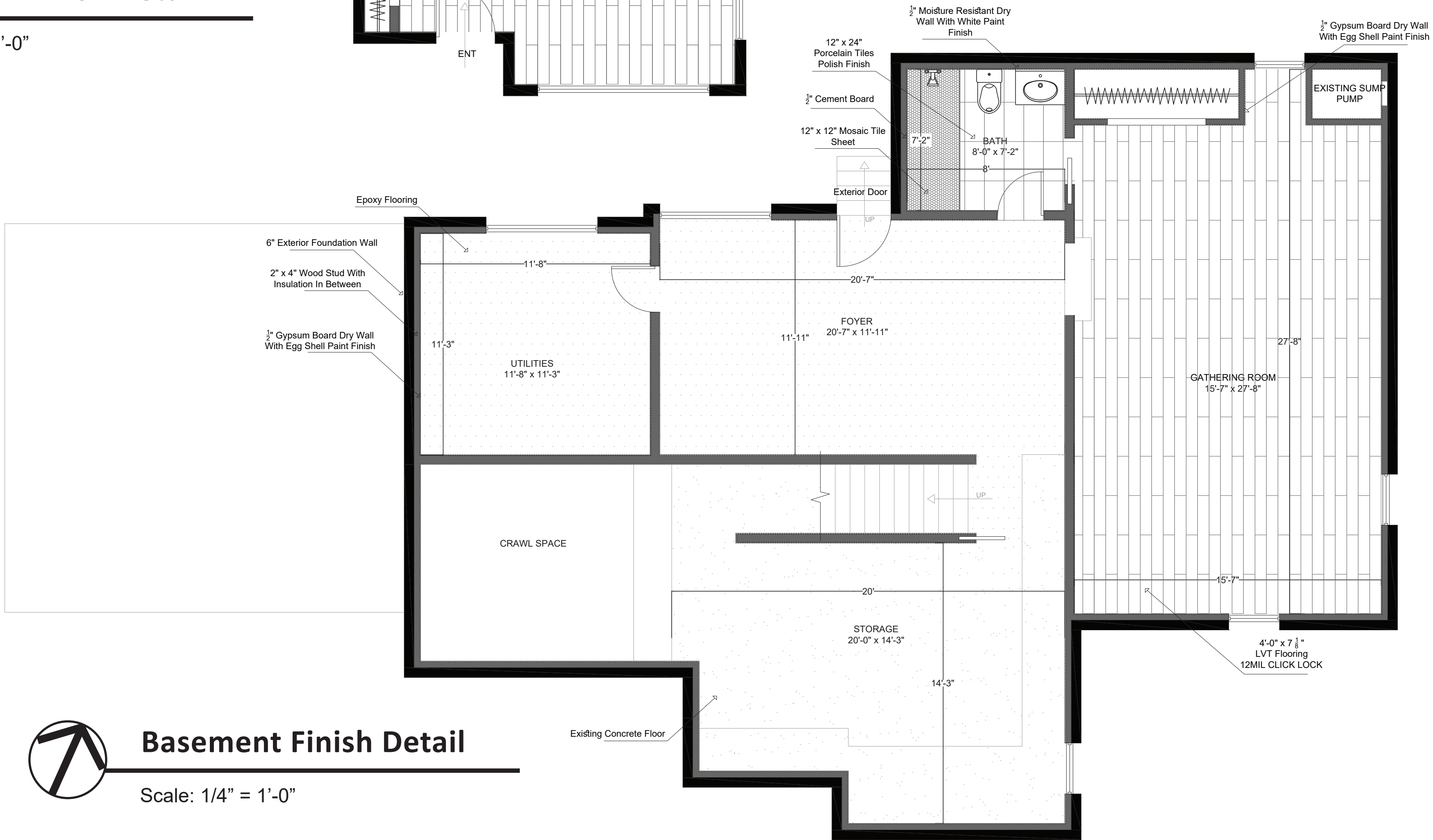
First Floor Finish Detail

Scale: 1/4" = 1'-0"



Second Floor Finish Detail

Scale: 1/4" = 1'-0"



Basement Finish Detail

Scale: 1/4" = 1'-0"



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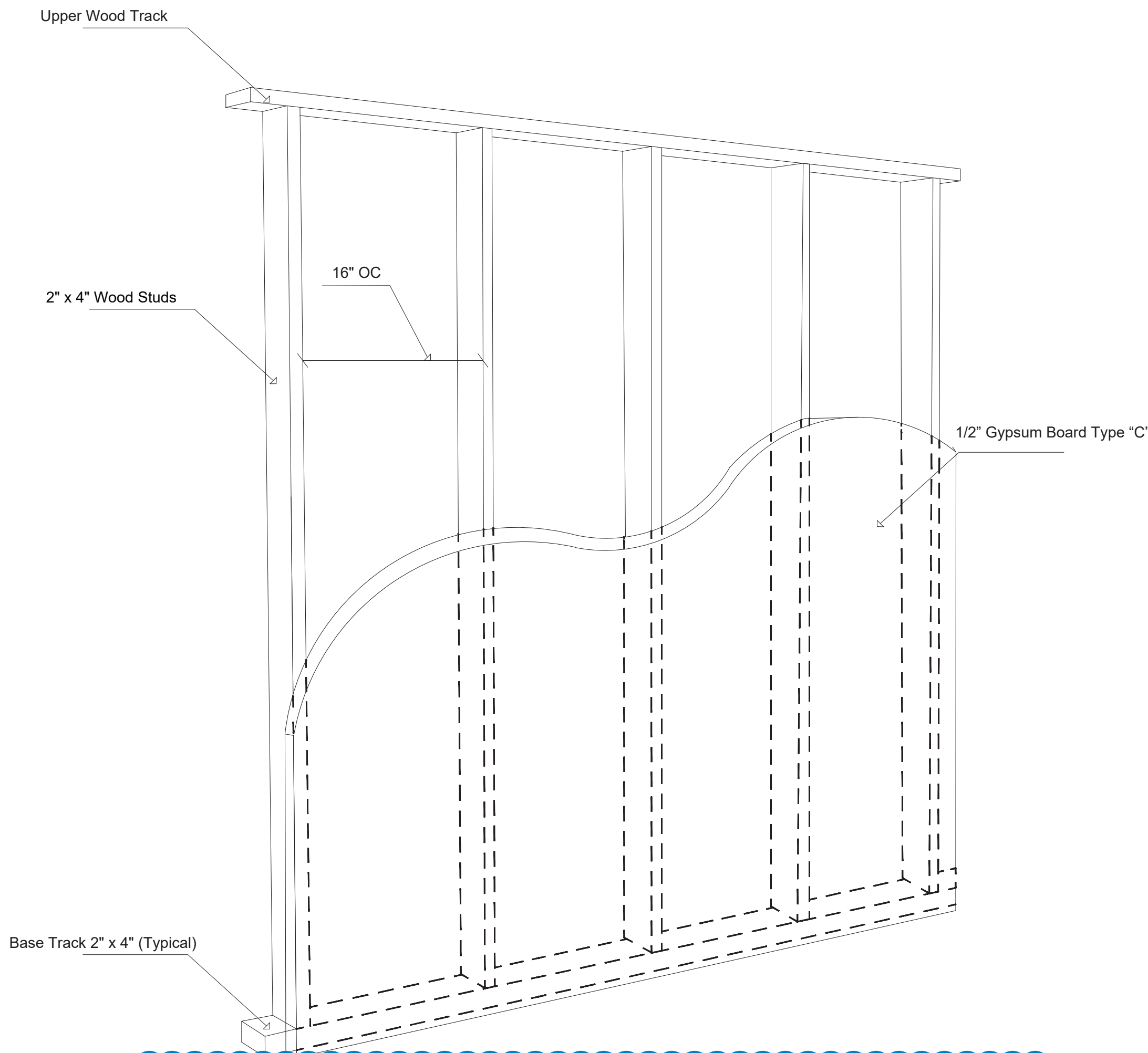
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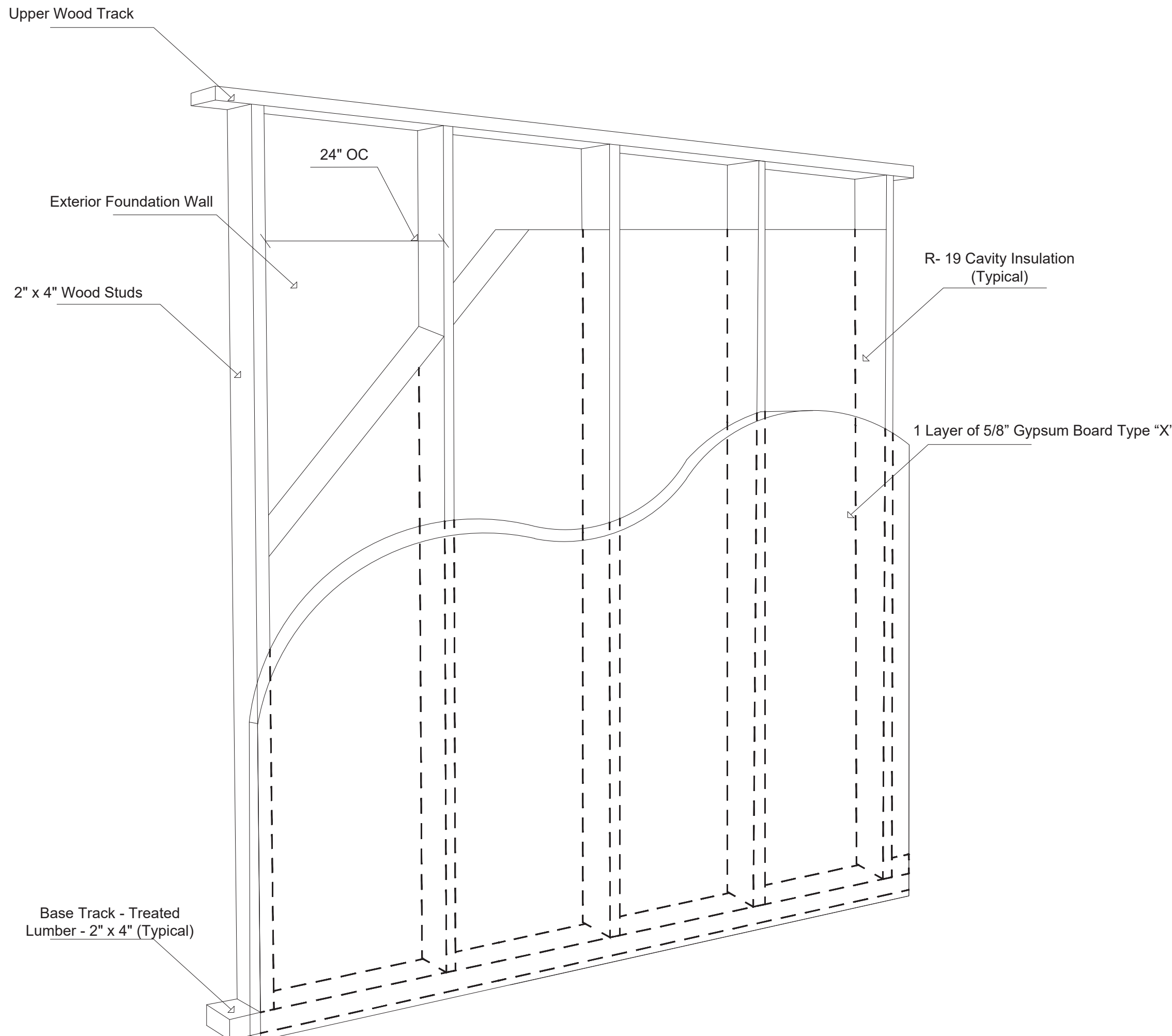
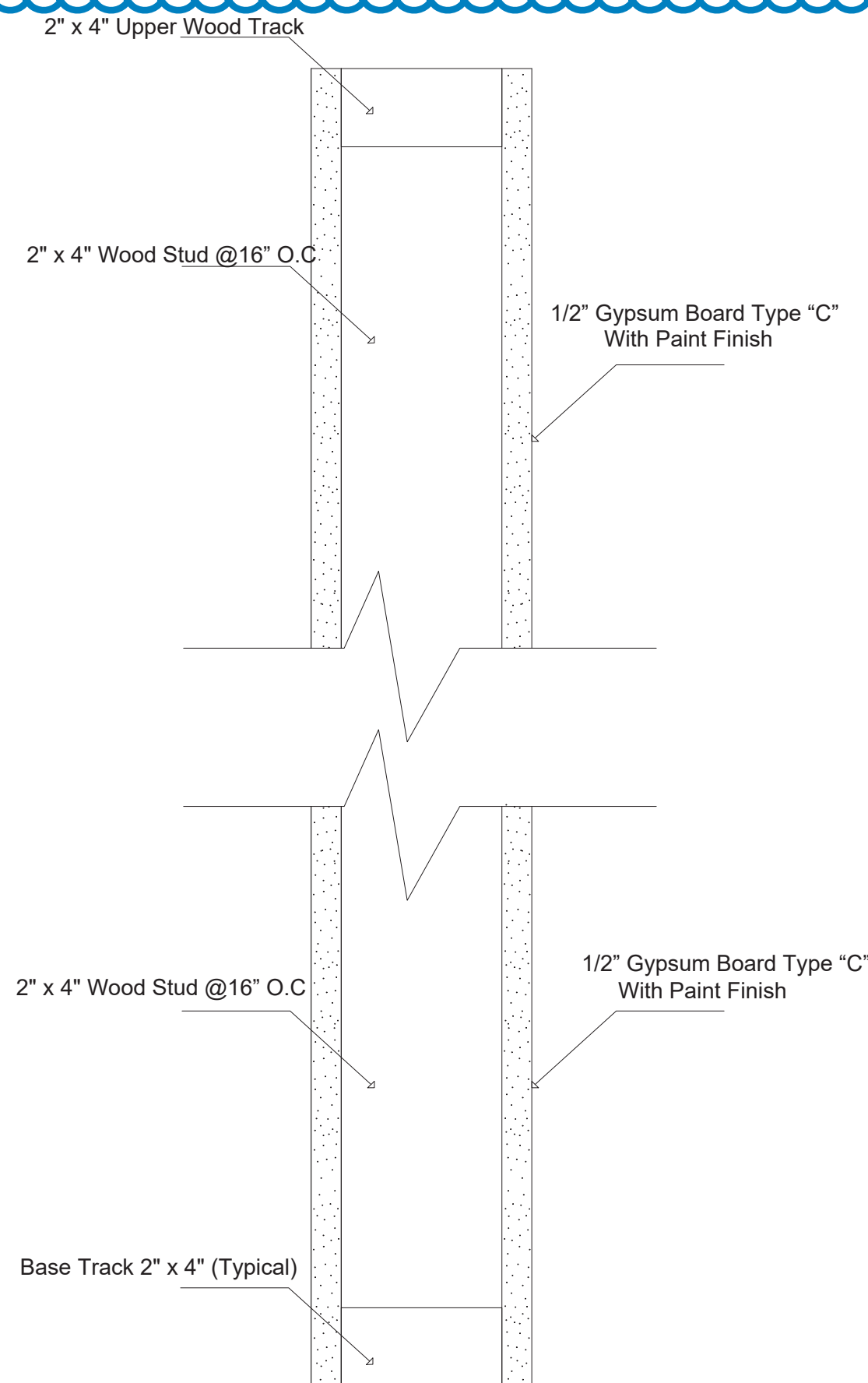
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1/4" = 1'-0"

Sheet Title:
Floor Finish Plans

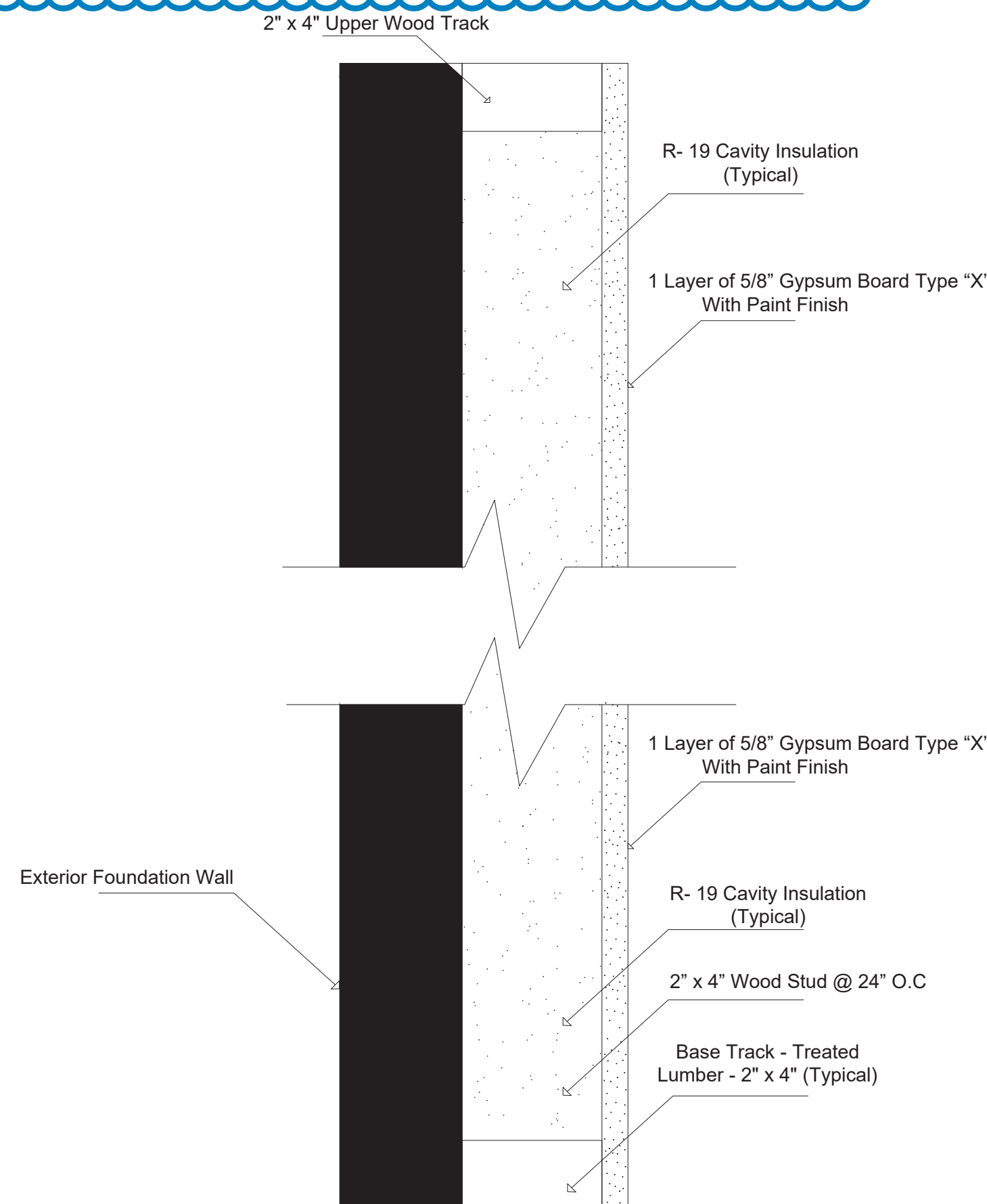
Sheet Number:
A-104



③ Interior - Non Bearing Proposed Wall Framing



③ Basement Exterior Wall Framing



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Date:
2 - June - 2024

Revision:
R- 2

Scale:
N.T.S

Sheet Title:
Interior - Exterior Wall Section

Sheet Number:
A-301

WINDOW & DOOR NOTES

1. PROVIDE TEMPERED OR LAMINATED SAFETY GLASS AT ALL GLAZING IN DOORS OR WINDOWS ADJACENT TO DOORS AND WHERE GLASS AREA EXCEEDS 9 SQUARE FEET, IN ACCORDANCE WITH LOCAL CODES. ALL SAFETY GLASS SHALL BE 1/4" THICK MINIMUM.

2. ALL GLAZING AT EXTERIOR OPENINGS SHALL BE INSULATED DOUBLE PANE UNITS FACTORY SEALED.

3. UNLESS NOTED OTHERWISE, ALL GLASS SHALL BE CLEAR.

4. GLAZING SHALL BE SEALED AT FRAMES WITH GASKETS, GLAZING COMPOUND, OR SEALANTS, AND SHALL BE WEATHER-TIGHT.

5. CLEAN ALL GLASS AND REMOVE ALL LABELS AND TAGS.

6. ALL MATERIALS USED FOR STOPS, FRAMES, AND GLAZING ANCHORS SHALL BE NON-CORROSIVE.

7. SUBMIT PRODUCT DATA, INCLUDING HALF-SIZE DETAILS OF EACH TYPICAL SECTION, SHOWING GLAZING DETAILS.

8. PROVIDE REMOVABLE INSECT SCREEN PANEL FOR EACH MOVABLE GLAZED SASH. COMPLY WITH REQUIREMENTS OF SMA 2005. SCREEN FRAME COLOR TO MATCH WINDOW.

9. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF WINDOWS UNITS, HARDWARE, OPERATORS, ACCESSORIES, AND OTHER WINDOW COMPONENTS. SET UNITS PLUMB, LEVEL, TRUE TO LINE, WITHOUT WARP OR WRACK OF FRAMES OR SASH. PROVIDE PROPER SUPPORT AND ANCHOR SECURELY IN PLACE. SET SILL MEMBERS IN A BED OF COMPOUND OR WITH JOINT FILLERS OR GASKETS TO PROVIDE WEATHER-TIGHT CONSTRUCTION. COORDINATE WINDOW INSTALLATION WITH WALL FLASHINGS AND OTHER BUILT-IN COMPONENTS.

10. ADJUST OPERATION SASH AND HARDWARE TO PROVIDE A TIGHT FIT AT CONTACT POINTS AND WEATHER-STRIPPING, AND TO PROVIDE SMOOTH OPERATION AND A WEATHER-TIGHT CLOSURE. LUBRICATE HARDWARE AND MOVING PARTS.

11. CLEAN SURFACES PROMPTLY AFTER INSTALLATION. AVOID DAMAGE TO PROTECTIVE COATINGS AND FINISHES.

12. REMOVE AND REPLACE GLASS THAT IS BROKEN, CHIPPED, CRACKED, ABRADED, OR DAMAGED IN OTHER WAYS DURING CONSTRUCTION PERIOD, INCLUDING NATURAL CAUSES, ACCIDENTS, AND VANDALISM. INSTITUTE AND MAINTAIN PROTECTION AND OTHER PRECAUTIONS REQUIRED THROUGH REMAINDER OF CONSTRUCTION PERIOD TO ENSURE THAT EXCEPT FOR NORMAL WEATHERING, WINDOW UNITS WILL BE WITHOUT DAMAGE OR DETERIORATION AT THE TIME OF SUBSTANTIAL COMPLETION.

13. ALL WOOD WINDOWS SHALL BE FACTORY CLAD, FINISH COLOR AS SELECTED BY OWNER.

14. PROVIDE JAMB EXTENSIONS AS REQUIRED TO SUIT SPECIFIED WALL THICKNESS.

15. CONTRACTOR TO REVIEW ALL WINDOW/DOOR SIZES, OPERABILITY, FINISH, SCREEN OPTIONS AND HARDWARE WITH OWNER AND ARCHITECT PRIOR TO ORDERING. CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM ARCHITECT OR OWNER BEFORE ORDERING WINDOWS AND DOORS..

WINDOW SCHEDULE

MARK	WIDTH (INCHES)	HEIGHT (INCHES)	SQ.FT	DIRECTION	QUANTITY	NOTE
A	120 1/4	53 1/2	44.68	SOUTH	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
B	31 3/4	53 1/2	11.80	WEST	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
C1	44 1/4	24 1/2	7.53	SOUTH	1	TEMPERED SAFETY GLASS, SLIDING WINDOW
C2	44 1/4	24 1/2	7.53	WEST	2	TEMPERED SAFETY GLASS, SLIDING WINDOW
C3	44 1/4	24 1/2	7.53	NORTH	1	TEMPERED SAFETY GLASS, SLIDING WINDOW
D	80	53 1/2	29.72	NORTH	1	TEMPERED SAFETY GLASS, SLIDING WINDOW
E	27 3/4	37 1/2	7.23	NORTH	2	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
F1	22 3/4	47 1/2	7.50	WEST	2	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
F2	22 3/4	47 1/2	7.50	EAST	2	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
G	92 1/4	60	38.44	NORTH	2	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
H	108 1/2	47 1/2	35.79	SOUTH	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
I	27 3/4	49 1/2	9.54	EAST	2	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
J	104 3/4	53 1/4	38.74	SOUTH	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
K	39 3/4	45 1/4	12.49	SOUTH	5	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
L	39 3/4	45 1/4	12.49	WEST	2	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW
M	39 3/4	45 1/4	12.49	NORTH	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW - FROSTED GLASS
N	39 3/4	45 1/4	12.49	NORTH	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW - FROSTED GLASS
O	39 3/4	45 1/4	12.49	EAST	1	TEMPERED SAFETY GLASS, DOUBLE HUNG WINDOW - FROSTED GLASS
P	67 3/4	24 1/2	11.53	NORTH	2	TEMPERED SAFETY GLASS, SLIDING WINDOW
Q1	30 3/4	19 3/4	4.22	SOUTH	1	TEMPERED SAFETY GLASS, SLIDING WINDOW
Q2	30 3/4	19 3/4	4.22	EAST	1	TEMPERED SAFETY GLASS, SLIDING WINDOW
R	37 3/4	21 1/2	5.64	EAST	1	TEMPERED SAFETY GLASS, SLIDING WINDOW
S	31	13 1/4	2.85	EAST	1	TEMPERED SAFETY GLASS, PICTURE WINDOW
T	30 3/4	36	7.69	NORTH	1	TEMPERED SAFETY GLASS, PICTURE WINDOW
W	70	80	38.89	NORTH	1	TEMPERED SAFETY GLASS SLIDING DOOR

TOTAL 37

NOTES:

- 1. NEW WINDOWS SYSTEMS TO BE TEMPERED GLASS
- 2. WINDOWS SPECIFICATION U-FACTOR =0.27, SOLAR HEAT GAIN COEFFICIENT=0.40, VISIBLE LIGHT TRANSMITTANCE=0.54
- 3. SAFETY GLAZING TO BE PROVIDED AT ALL STAIR-LANDING WINDOWS WITHIN 60" OF STAIRS WHEN THE BOTTOM EDGE
- 4. WINDOWS TO BE ANDERSEN OR SIMILAR

DOOR SCHEDULE

DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	DOOR	FRAME	QUANTITY	NOTE
1	2'-6"	6'-8"	HC/WD	WD	5	BEDROOMS - W/ PRIVACY HARDWARE
2	2'-4"	6'-8"	HC/WD	WD	5	BATHROOMS - W/ PRIVACY HARDWARE
3	2'-6"	6'-8"	HC/WD	WD	2	CLOSET - BIFOLD
4	5'-0"	6'-8"	HC/WD	WD	7	CLOSET - BIFOLD
5	2'-4"	6'-8"	HC/WD	WD	3	POCKET-DOOR
6	2'-4"	6'-8"	HC/WD	WD	1	UTILITY - LOUVERED BI-FOLD
7	3'-0"	6'-8"	SC/WD	WD	1	BUILDING ENTRY DOOR INTERCOMACTIVATED W/ CLOSER/ LOCKSET, 1 3/4" SOLID CORE W/ WEATHER STRIP & TEMPERED GLASS SIDE PANELS 15" EACH;
8	3'-0"	6'-8"	SC/WD	WD	1	REAR ACCESS DOOR, 45 MIN. FIRE RATED , 1 3/4" SOLID CORE W/CLOSER/LOCKSET & WEATHER STRIP
9	2'-6"	6'-8"	SC/WD	WD	1	BASEMENT ACCESS DOOR, 45 MIN. FIRE RATED , 1 3/4" SOLID CORE W/CLOSER/LOCKSET & WEATHER STRIP

TOTAL 26

NOTES:

- 1. ALL INTERIOR DOORS TO BE 6'-8" UNLESS NOTED OTHERWISE. VERIFY ALL SIZES IN FIELD.
- 2. ALL OTHER INTERIORS SWING DOORS 1 3/8" THICK SOLID CORE WOOD. ALL BI-FOLD DOORS TO BE 1 3/8" THICK HOLLOW CORE WOOD
- 3. BUILDING EXTERIOR ENTRY TO HAVE INSULATED SAFETY GLASS.
- 4. PUSH PULL AT ENTRY DOORS NOT MORE THAN 8.5 LBS
- 5. ALL DOOR GLAZING SHALL BE TEMPERED SAFETY GLASS



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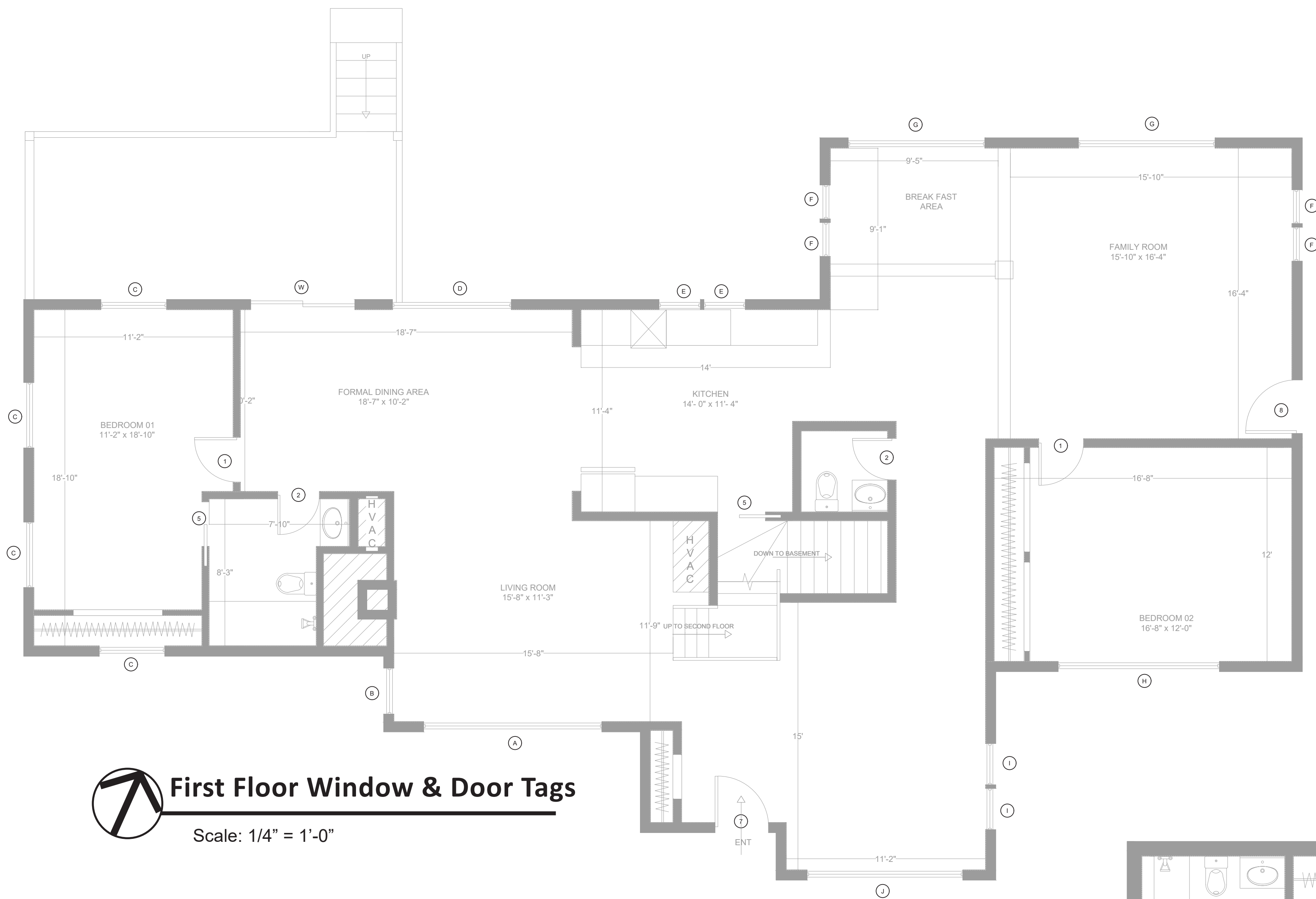
Date:
2 - June - 2024

Revision:
R- 2

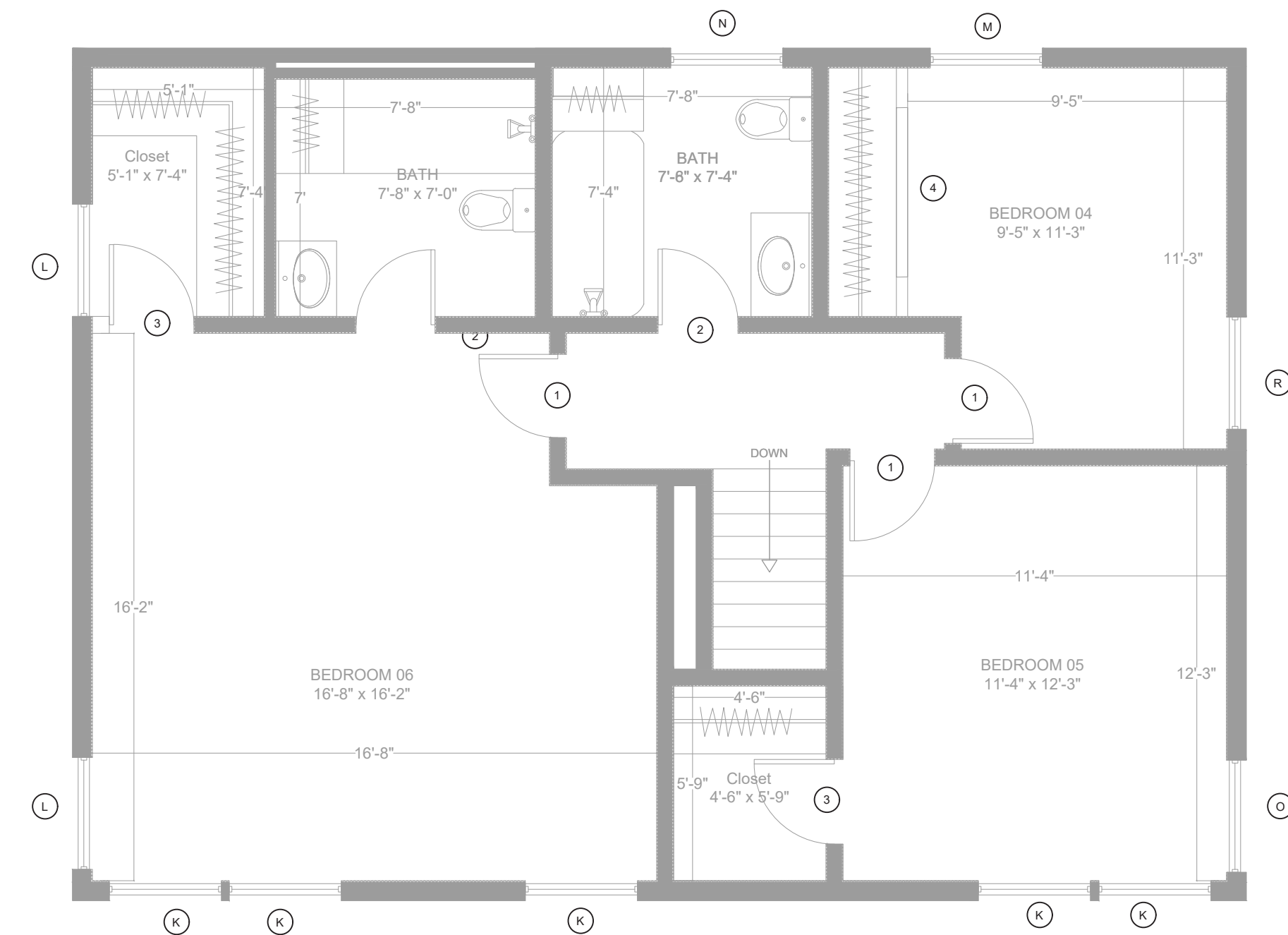
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Sheet Title:
Win/Door Notes & Schedule

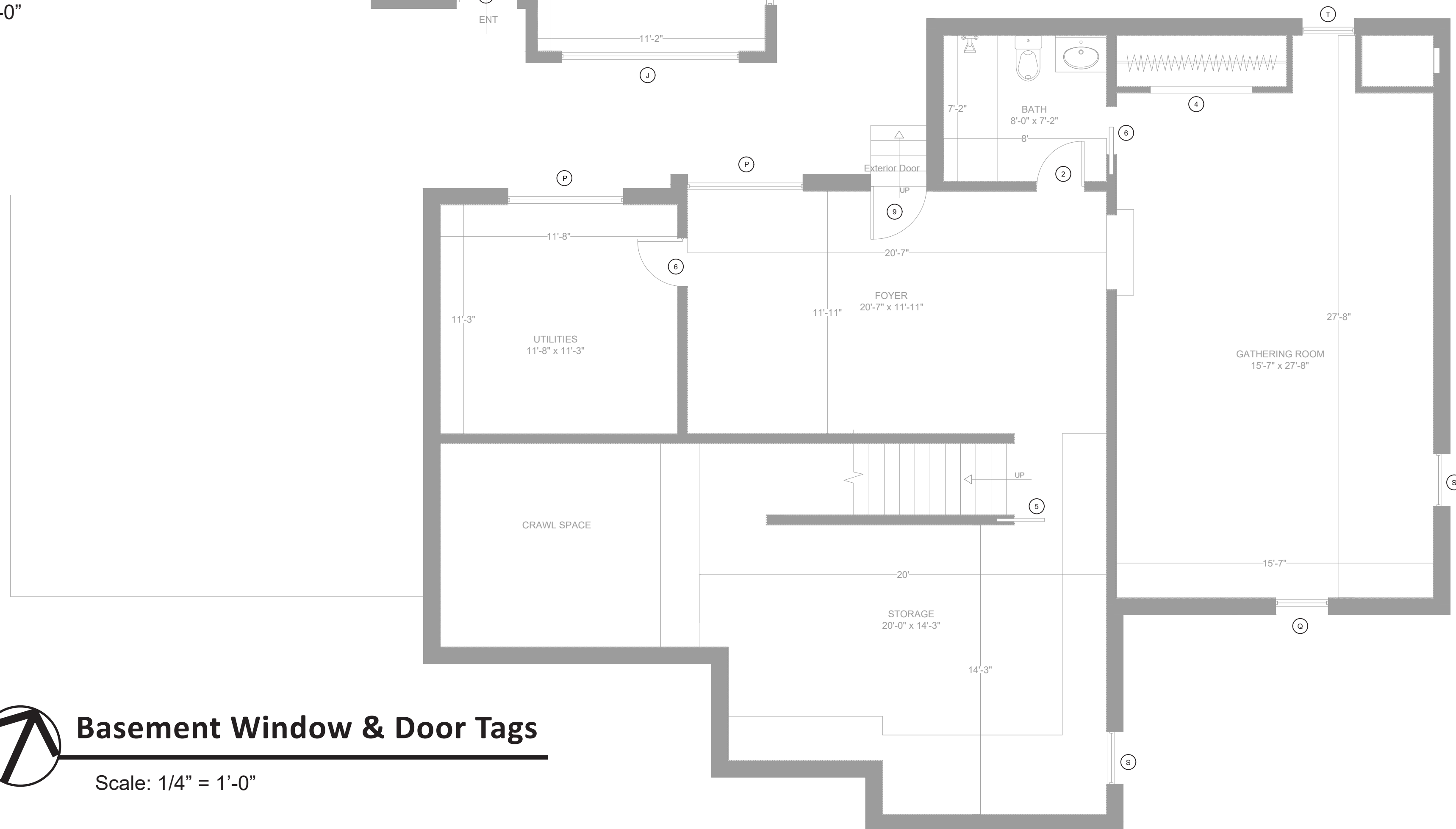
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A-400



First Floor Window & Door Tags
Scale: 1/4" = 1'-0"



Second Floor Window & Door Tags
Scale: 1/4" = 1'-0"



Basement Window & Door Tags
Scale: 1/4" = 1'-0"



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Date:
2 - June - 2024

Revision:
R- 2

Scale:
1/4" = 1'-0"

Sheet Title:
Window & Door Tags

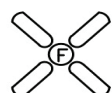
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A-401

ELECTRICAL NOTES

1. VERIFY ALL EXISTING CONDITIONS, DIMENSION, AND MATERIALS IN THE FIELD. REPORT ALL DISCREPANCIES TO ARCHITECT IN WRITING AT ONCE.
2. ALL CONDUCTORS SHALL BE COPPER. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG SOLID WIRE. ALL CONDUCTORS #10 AND LARGER SHALL HAVE THWN OR THW RATED INSULATION. ALL OTHERS SHALL HAVE THWN.
3. ALL WORK AND MATERIALS SHALL CONFORM TO ALL LOCAL CODES AND OTHER GOVERNING REGULATIONS. TS.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS AND PAY FOR ALL FEES ASSOCIATED WITH THIS WORK.
5. ALL CONDUIT SHALL BE THIN WALL GALVANIZED STEEL OR INTERMEDIATE WALL GALVANIZED STEEL CONDUIT. WHERE CONDUIT RUNS MUST BE EXPOSED, INSTALL AGAINST WALLS OR CEILING. INSTALL PARALLEL TO MAJOR BUILDING LINES. DO NOT RUN DIAGONALLY ACROSS SPACES. EXPOSED CONDUIT SHALL ONLY BE PERMITTED IN MECHANICAL ROOMS UNLESS NOTED OTHERWISE. ALL OTHER CONDUIT SHALL BE CONCEALED FROM VIEW.
6. GROUND ALL EQUIPMENT AND ASSOCIATED ELECTRICAL WORK IN ACCORDANCE WITH CODE REQUIREMENTS.
7. PROVIDE ALL LAMPS FOR FIXTURES. PROVIDE ALL FUSES.
8. LABEL CIRCUIT BREAKERS AND DISCONNECT SWITCHES TO IDENTIFY EQUIPMENT AND DEVICES CONTROLLED. DIRECTORIES AT PANELS SHALL TYPED.
9. ALL DEVICE TRIM PLATES SHALL BE METAL PLATES PAINTED SEMI-GLOSS TO MATCH ADJACENT WALL SURFACE. RECEPTACLE AND SWITCH DEVICES TO BE AS NOTED.

\$	SINGLE SWITCH
\$	DOUBLE SWITCH
⦶	DUPLEX RECEPTACLE
⦶ _{GFCI}	GFCI DUPLEX RECEPTACLE
⦶ _{AFI}	AFI DUPLEX RECEPTACLE

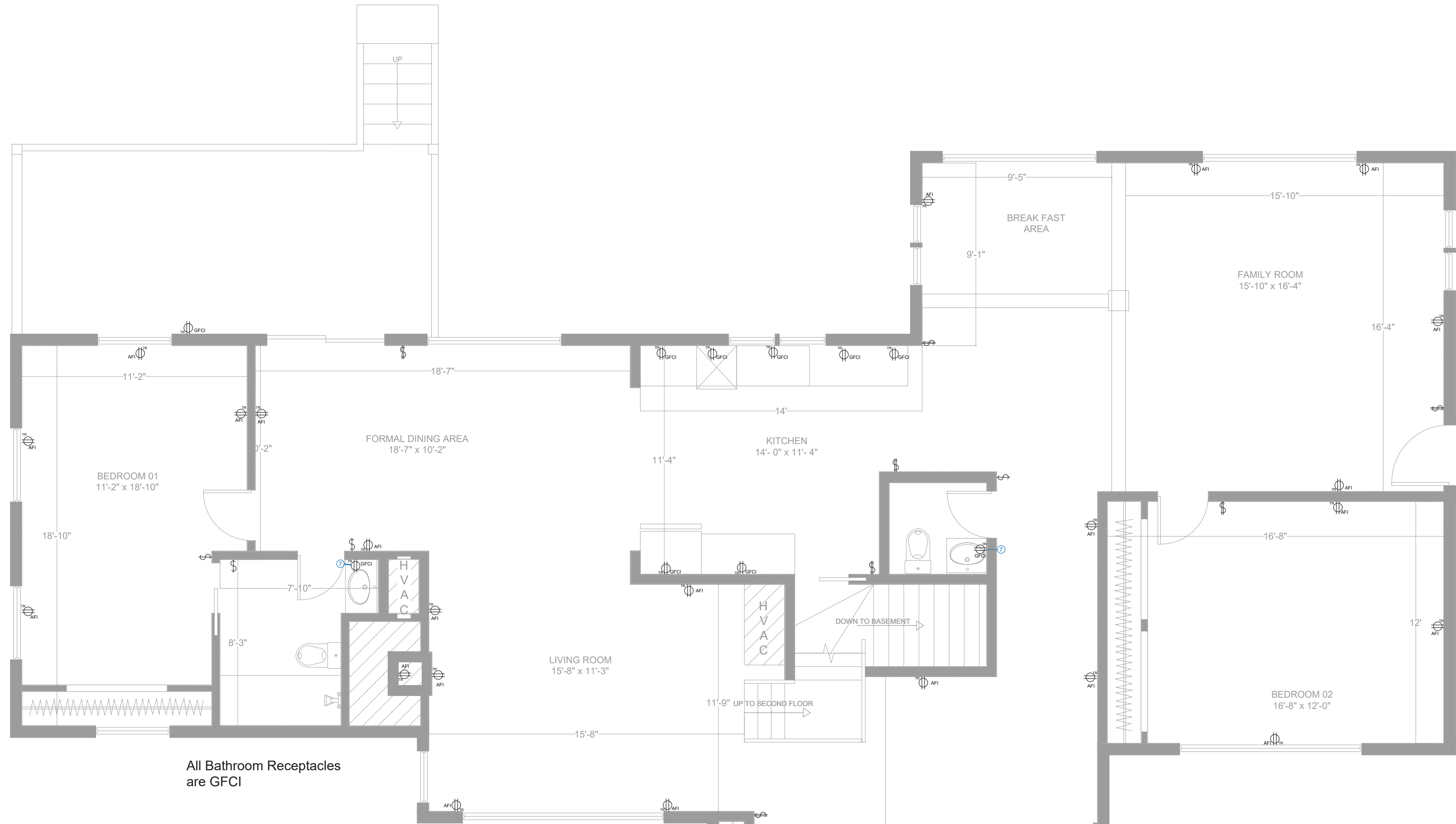
ELECTRICAL SCHEDULE

Light Schedule						
Description	Mark	Model	Style	Color	Size	Picture
Can Light		HALO HLBE	Ultra-Stim Downlight 3000K Fixed CGT New	White	6 in.	
Shower Light		Commercial Electric	White Flush Round Wet Rated LED Integrated Recessed.	White	6 in.	
Pendant Lights Kitchen Island		SNKXND, B817S BK-4	Flush Mount, Crystal	Black	75.95 x 11 x 99.06 cm	
Kitchen Sink Top Light		FDPBY, JP-002	Flush Mount, Crystal	Black	4.72"L x 4.72"W x 70.86"H	
Mirror Light		HORKEY, 001	Acrylic	Chrome	40 x 12 x 12 cm	
Closet Light		Commercial Electric	Ceiling Light 810 Lumens 4000K Bright, Acrylic	White	7 in.	
Sensor Light		Maxima	Motion Sensor Integrated LED Flush Mount	White	6 in.	
LED Tube light		ETI	3600 Lumens Integrated LED White Wraparound	White	4 feet	
Ceiling Fan		Hone Decorators Collection	Merwy 52 in. Integrated LED Indoor Ceiling Fan with Light Kit and Remote Control	Matte Black	18.5"W x 52"D x 15.5"H	
Smoke Detector		Kidde	Firex Smoke Detector, Hardwired with 9-Volt Battery Backup, UL Recognized	White	5 in.	
Carbon Monoxide Detector		Kidde	Firex Hardwired Carbon Monoxide Detector with 9-Volt Battery Backup	White	6 in.	
GFCI Receptacle 15 & 20 Amp		Laviton	15 and 20 Amp 125-Volt Duplex Self-Test Tamper Resistant/Weather Resistant GFCI Outlet	White	D 1.68" x W 2.25" x H 4.25"	
AFCI Receptacle 15 & 20 Amp		Laviton	15 and 20 Amp Tamper Resistant AFCI Outlet	White	D 2.25" x W 4" x H 6.18"	

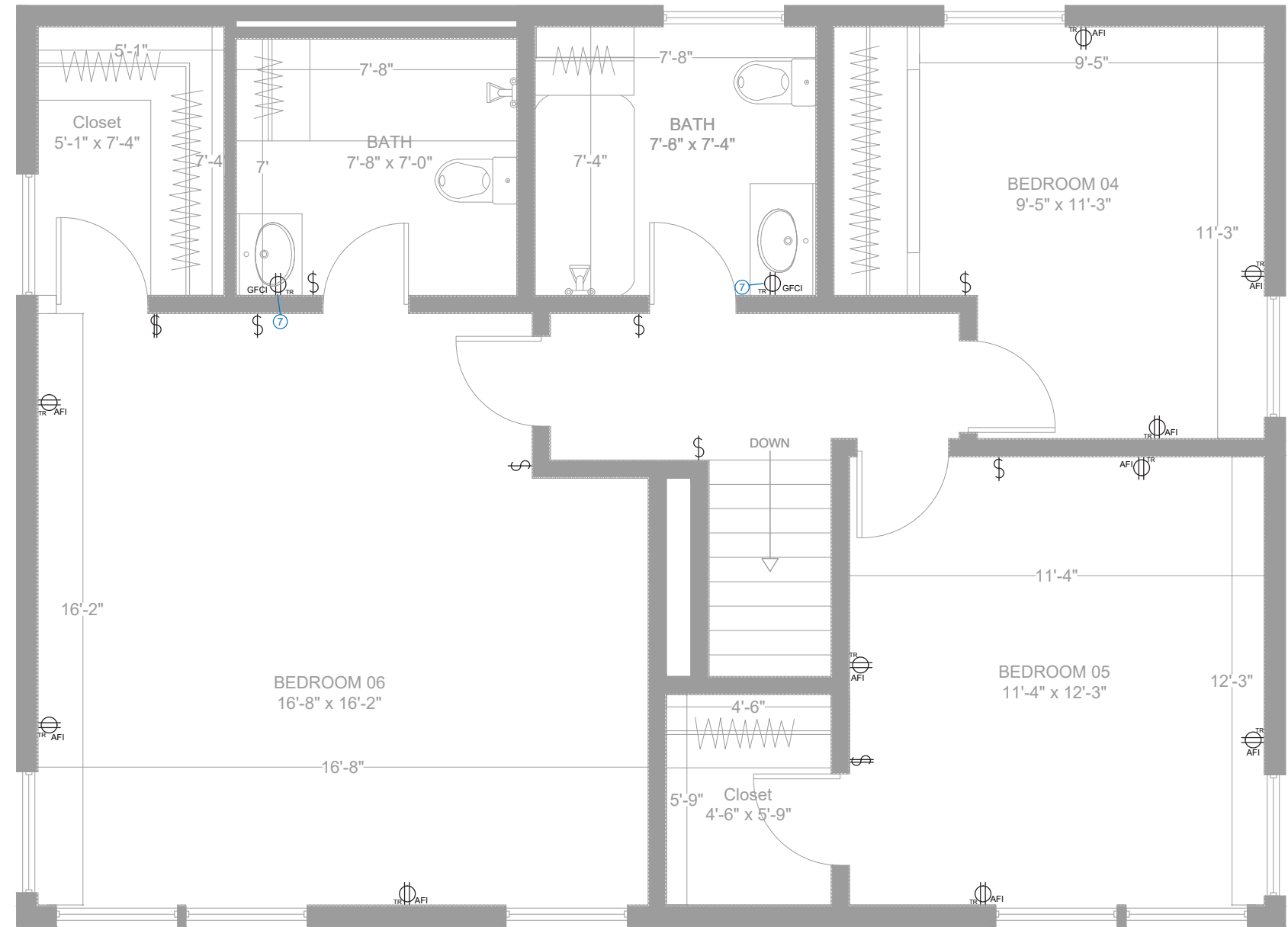
ELEC. LOAD CALCULATION

LOAD CALCULATION RESIDENTIAL OCCUPANCY				DATE 05.03.24	
PROJECT ADDRESS : 106 E 22nd Street, Lombard, IL 60145					
BLDG. EXTERIOR DIMENSIONS		LENGHT	67	WIDTH	45
TOTAL NO. OF FLOORS		3	TOTAL NO. OF UNITS/APTS.		1
TYPE OF SERVICE		124/240V, 1PH, 3W			
SERVICE OCP:		100 AMP			
SERVICE FEEDER:		(1) SETS OF (3) #3/0 THWN WIRE IN (1) 1 1/2" ALUMUNUM PIPE			
GENERAL LIGHTING					
TOTAL Sq.Ft.	3640			X 3.0 WATTS PER SqFt	WATTS
BASEMENT FLOOR	1352		1	3.00	4056 WATTS
FIRST FLOOR	1669		1	3.00	5007 WATTS
SECOND FLOOR	619		1	3.00	1857 WATTS
APPLIANCE NO OF CKTS	2	1500 WATT/ CKTS		1.00	3000 WATTS
LAUNDRY CKTS	1	1500 WATT/ CKTS		1.00	1500 WATTS
SUB-TOTAL GENERAL LTG. LOAD					15420 WATTS
DEMAND 220.11					
FIRST 3000 WATTS OF GENERAL LTG. LOAD @100%		100%	=	3000	WATTS
NEXT 120,000 WATTS OF GEN .LTG LOAD @ 35%		35%	=	4347.25	WATTS
ALL IN EXCESS OF 120,000 WATTS @ 25%		25%	=	0.0	WATTS
TOTAL GENERAL LTG				7347.25	WATTS
APPLIANCE LOAD 220.17/220.18/220/19		NO. OF		WATTS Each	DEMAND WATTS
NO OF DISHWASHERS	1	@		1500	100% 1500
NO OF MICROWAVES	1	@		1500	100% 1500
NO OF REFRIGERATORS	1	@		1200	100% 1200
NO OF WATER HEATERS	1	@		750	100% 750
NO OF FURNACES	1	@		750	100% 750
NO OF AIR CONDITIONERS	1	@		5000	100% 5000
NO OF SUMP PUMPS	1	@		750	100% 0
NO OF EJECTOR PUMPS	1	@		750	100% 0
TOTAL APPLIANCE LOAD				10700	WATTS
TOTAL LOAD (LTG. + APPLIANCE				18047	WATTS
	TOTAL WATTS	VOLTS			AMPS
	18047	240	=		75.19
SERVICE LOAD		100A	80%		80

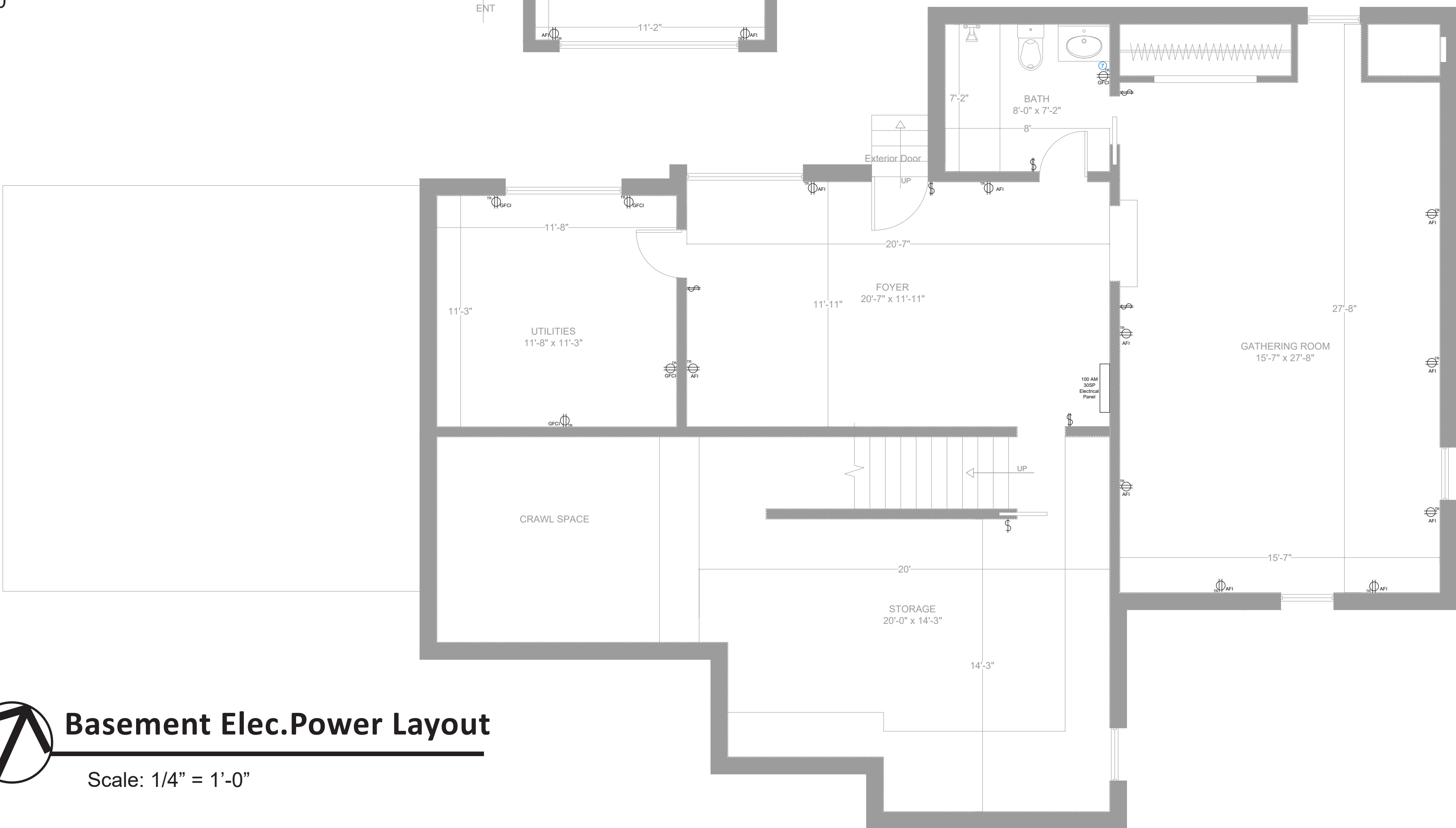
100 AM Single face, 30 spaces bracker



 **First Floor Elec.Power Layout**
Scale: 1/4" = 1'-0"



 **Second Floor Elec.Power Layout**
Scale: 1/4" = 1'-0"



 **Basement Elec.Power Layout**
Scale: 1/4" = 1'-0"

- NOTES**
- ⑦ 1. All receptacles serving bathrooms or any other wet area are GFCI protected.
 - ⑧ 2. All receptacles used are temper resistant receptacles. To be verified in field
 - ⑨ 3. Arc-fault protection is used for all modified or extended branch circuits that supply outlets installed in dwelling unit family rooms, dining rooms, living rooms, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas.



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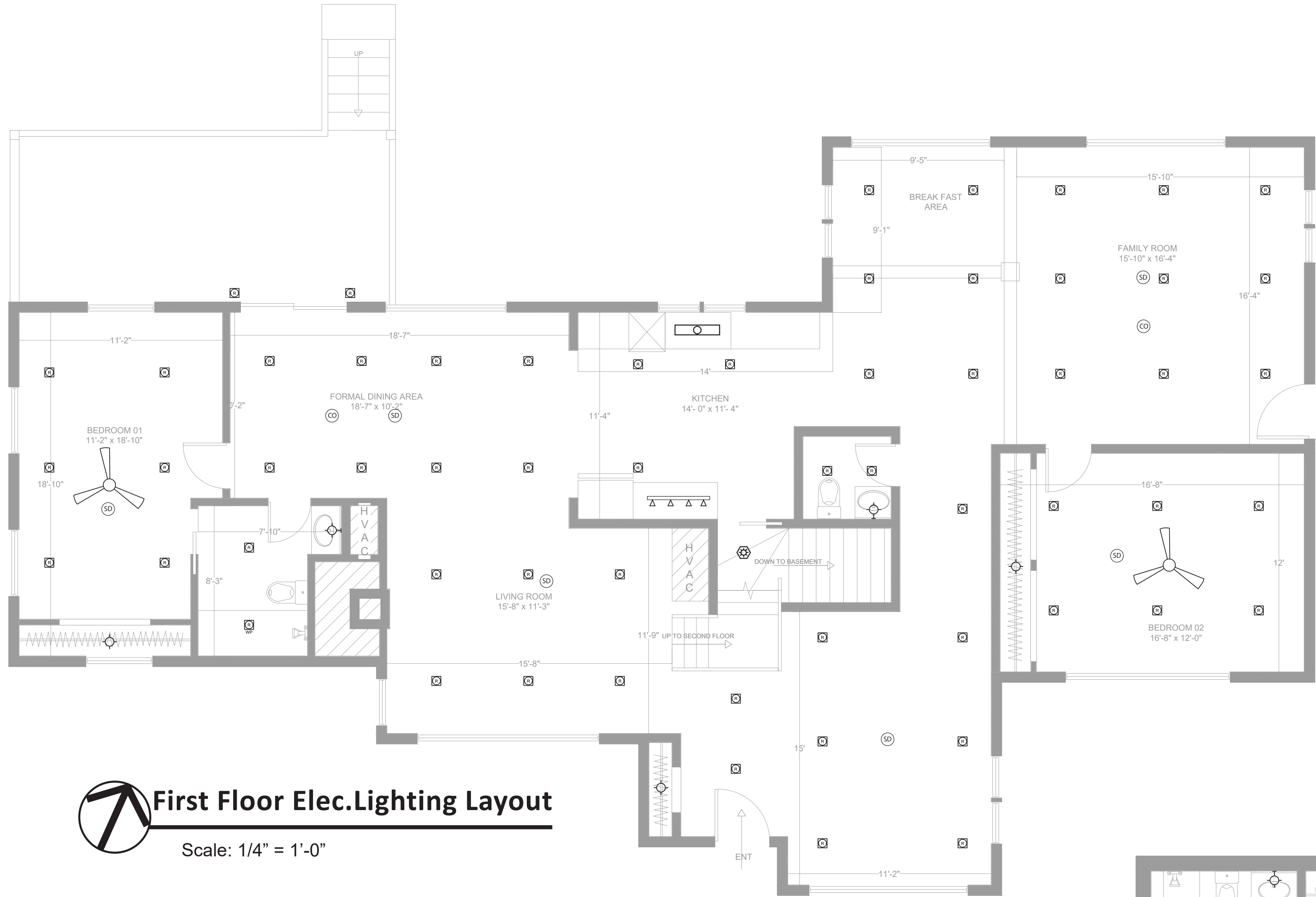
Date:
2 - June - 2024

Revision:
R- 2

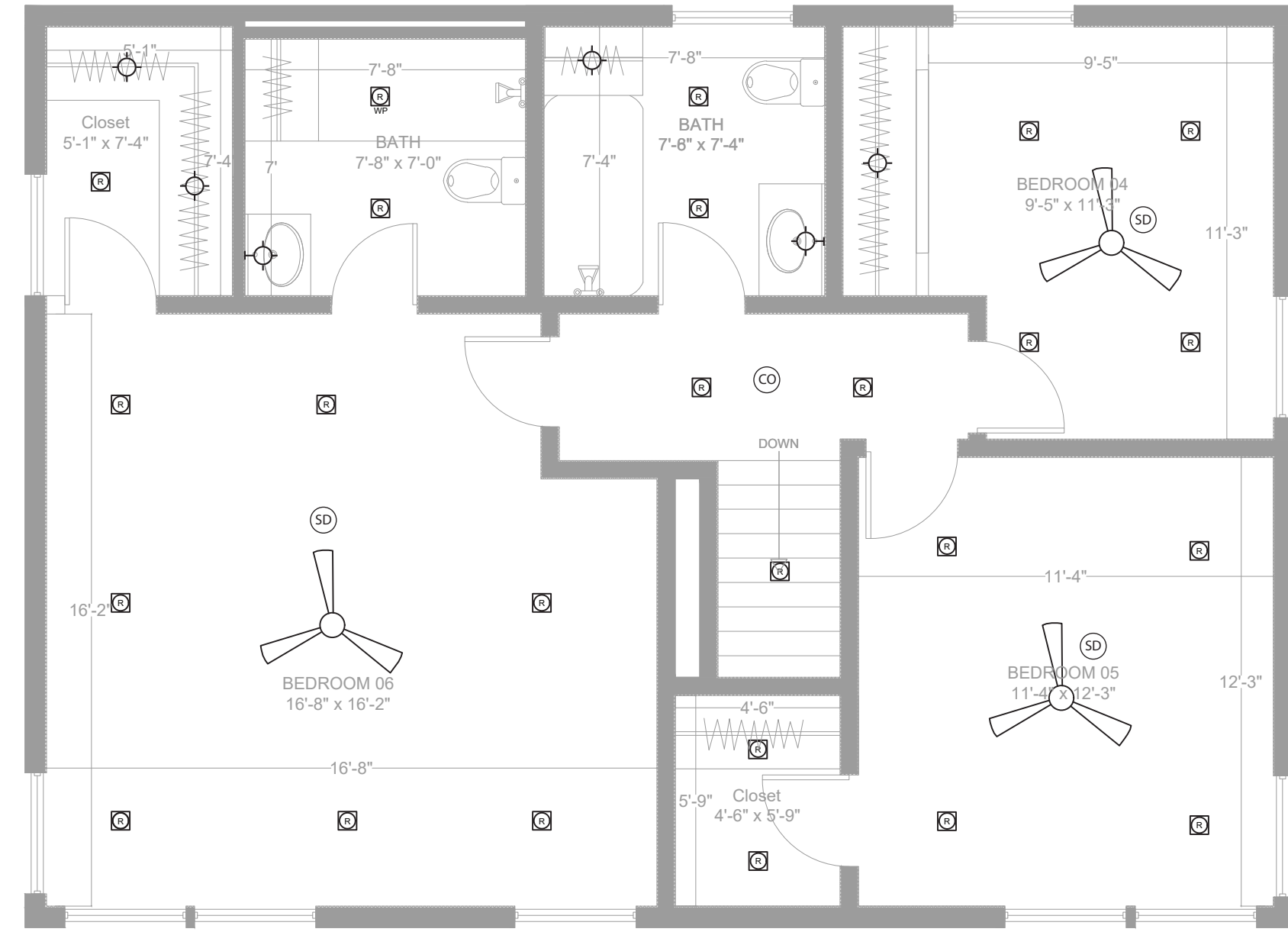
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Sheet Title:
Electrical Power Plan

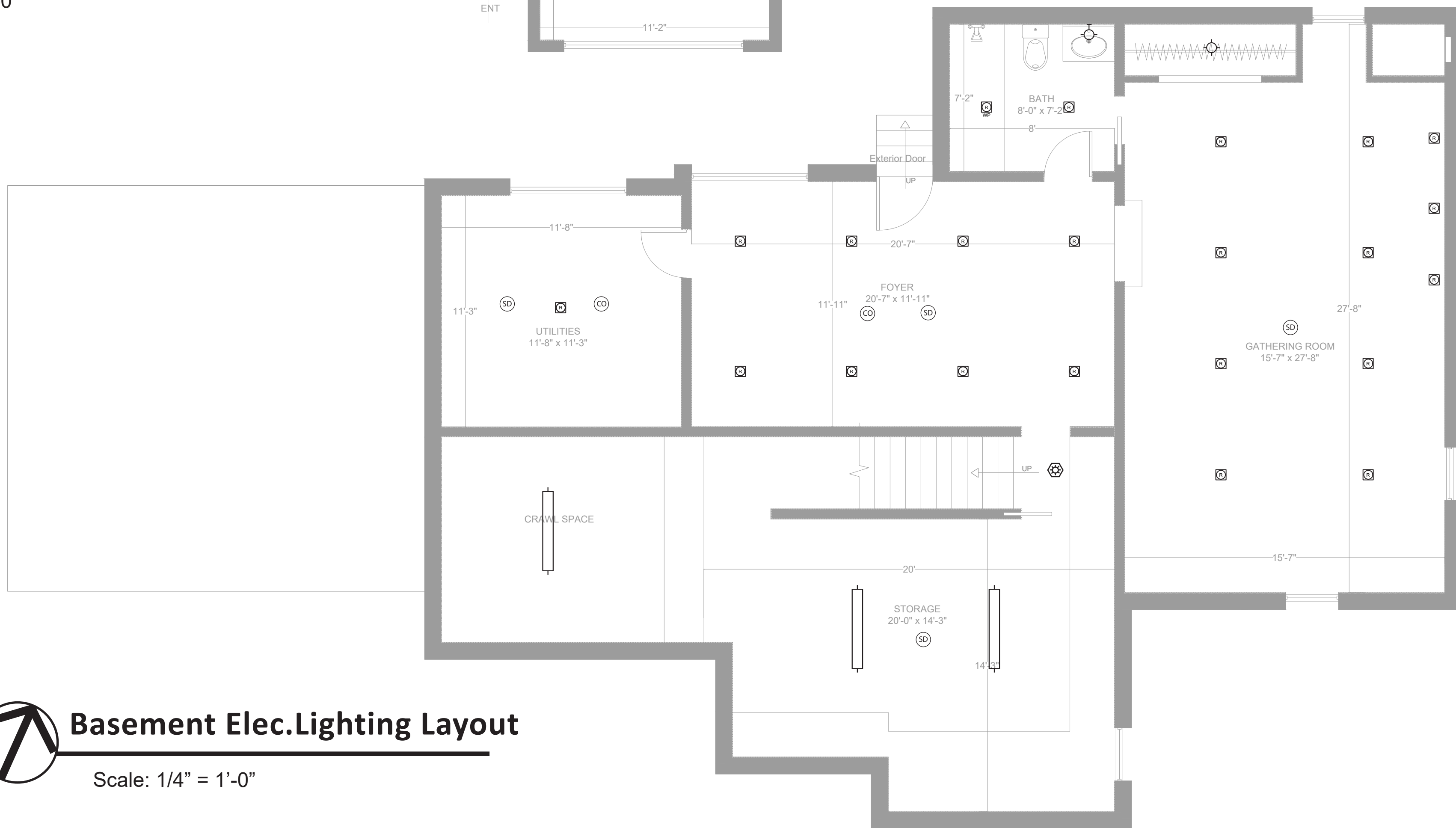
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First Floor Elec. Lighting Layout
Scale: 1/4" = 1'-0"



Second Floor Elec. Lighting Layout
Scale: 1/4" = 1'-0"



Basement Elec. Lighting Layout
Scale: 1/4" = 1'-0"

- NOTES**
1. All lamps in permanently installed lighting fixtures are high-efficacy lamps.
 2. The lighting to be installed within the shower area qualifies for such installations
 3. Shower lighting is installed in a manner so that water cannot enter the fixture or accumulate in wiring compartments.
 4. Shower lighting fixtures are GFCI protected.
 5. All smoke alarms are 110V/120V hardwired with battery backup, and are interconnected so the actuation of one alarm will activate all of the alarms.
 6. Carbon Monoxide detectors are installed outside each separate sleeping area in the immediate vicinity of the bedrooms.



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Date:
2 - June - 2024

Revision:
R- 2

Scale:
1/4" = 1'-0"

Sheet Title:
Electrical Lighting Plan

Sheet Number:
E-1.1

HVAC NOTES

1. HVAC WORK IS TO BE PERFORMED ON A 'DESIGN BUILD' BASIS. WORK SHALL COMPLY WITH CODE REQUIREMENTS, OWNER'S PROGRAM, AND ENVIRONMENTAL DESIGN STANDARDS INDICATED. REFER TO GENERAL CONDITIONS FOR OTHER REQUIREMENTS.
2. THE CONTRACTOR SHALL INSPECT THE JOB SITE FOR EXISTING CONDITIONS AND FOR COORDINATION WITH ALL OTHER TRADES AND DRAWINGS. CLAIMS FOR ADDITIONAL COMPENSATION, DUE TO EXISTING CONDITIONS OR COORDINATION WITH OTHER TRADES, WILL NOT BE GIVEN CONSIDERATIONS.
3. PROVIDE ALL CUTTING, PATCHING, SHORING, AND BRACING AS REQUIRED.
4. PROVIDE 1" SOUND LINING 15 FEET DOWNSTREAM OF ALL AIR HANDLING EQUIPMENT. INSULATE DUCTS AS NEEDED TO PREVENT CONDENSATION.
5. DUCTWORK AND PIPING SHALL BE CONCEALED RUN IN STRAIGHT LINES PARALLEL AND/OR PERPENDICULAR TO THE BUILDING CONSTRUCTION, AND

- INSTALLED AS HIGH AS POSSIBLE.
6. THE CONTRACTOR SHALL PROVIDE ALL LABOR MATERIAL, EQUIPMENT, AND SERVICES REQUIRED TO FURNISH AND INSTALL, TEST AND ADJUST ALL HEATING, VENTILATION, AIR CONDITIONING SYSTEMS IN ALL DETAIL, AND READY FOR SATISFACTORY OPERATION.
7. ALL DUCTWORK SHALL BE MINIMUM 24-GAUGE GALVANIZED SHEET METAL. COMPLY WITH THE RECOMMENDATIONS OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS AND THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION FOR DUCTWORK ASSEMBLIES AND SYSTEMS. DUCTWORK SYSTEMS SHALL BE SUBSTANTIALLY AIR TIGHT.
8. ALL DAMPERS SHALL BE LOCKING TYPE.
9. PROVIDE FLASHING AND SEALANTS FOR WEATHER-TIGHT PENETRATIONS THROUGH EXTERIOR WALL, FOUNDATION, OR ROOF

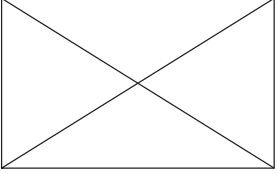
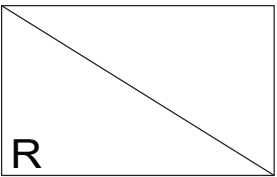
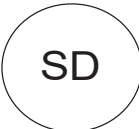
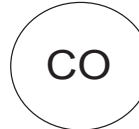
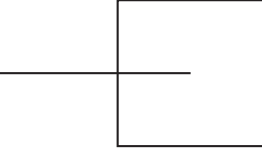
EXHAUST FAN SCHEDULE

Exhault Fan #	Capacity CFM	Manufacture	Size	Picture
EF 1	60	Broan	688	

APPLIANCE SCHEDULE

S.No	Model	Style	Picture
1	Frigidaire 36 in, FRSS2623AS	25.6 cu. ft. Side by Side Refrigerator in Stainless Steel, Standard Depth 36 in. 25.6 cu. ft. Side	
2	Samsung 7.5 cu. ft., DVG45T6000W	Stackable Vented Gas Dryer with Sensor Dry in White 7.5 cu. ft. Stackable Vented Gas Dryer with Sensor Dry in White	
2	Frigidaire 1.8 Cu. Ft., FMOS1846BS	Over-The-Range Microwave in Stainless Steel 1.8 Cu. Ft. Over-The-Range Microwave in Stainless Steel	
4	Frigidaire 24 in., FFCD2413US	Stainless Steel Front Control Built-In Tall Tub Dishwasher, 55 dBA 24 In. in. Front Control Built-In Tall Tub Dishwasher in Stainless Steel	
5	Samsung 4.5 cu. ft., WF45T	High-Efficiency Front Load Washer with Self-Clean+ in White 4.5 cu. ft. High-Efficiency Front Load Washer with Self-Clean+ in White	
6	Frigidaire 30 in. FCRG3052A	5 Burner Freestanding Gas Range in Stainless Steel 30 in. 5 Burner Freestanding Gas Range in Stainless Steel	

HVAC SYMBOLS

	HVAC DUCT
	RETURN DUCT
	EXHAUST
	SMOKE DETECTOR
	CARBON DETECTOR
	DAMPERS

EQUIPMENT LIST

EQUIPMENT LIST								
MANUF.	MOD. #	AIR FLOW	OUTPUT	INPUT	COOLING CAP.	REMARKS	FURN. #	UNIT #
CARRIER OR SIMILAR	PG96MSAA66140D OR SIMILAR	2,420	135,000	140,000	4.75 T	1/2" GAS	F-1	Unit 1

REFRIGERATION SCHEDULE

REFRIGERATION SCHEDULE												
INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES REMOVE EXPANSION VALVES, DEVICES & CONNECTIONS FROM AIR STREAM COPPER TUBING BE TYPE ACR OR TYPE K UNLESS THE PRESSURE EXCEEDS THE RATED CAPACITY OF ACR TUBING ALL CONNECTIONS AND DEVICES TO BE BRAZED												
MANUF.	MOD. #	No. of Compressors	Comp./ Ton	Comp./ H.P.	Refrig.	Wt. Ref. lbs. @ 15 ft	Remote	Self Contained	Location	Air Cooled	Water Cooled	Weight (LBS)
CARRIER OR SIMILAR	PA4SAN46000N	4	5.0	1/4	R-410A (CAPVU6024ALA)	9.10	YES	-	ROOF	YES	-	235



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2 - June - 2024

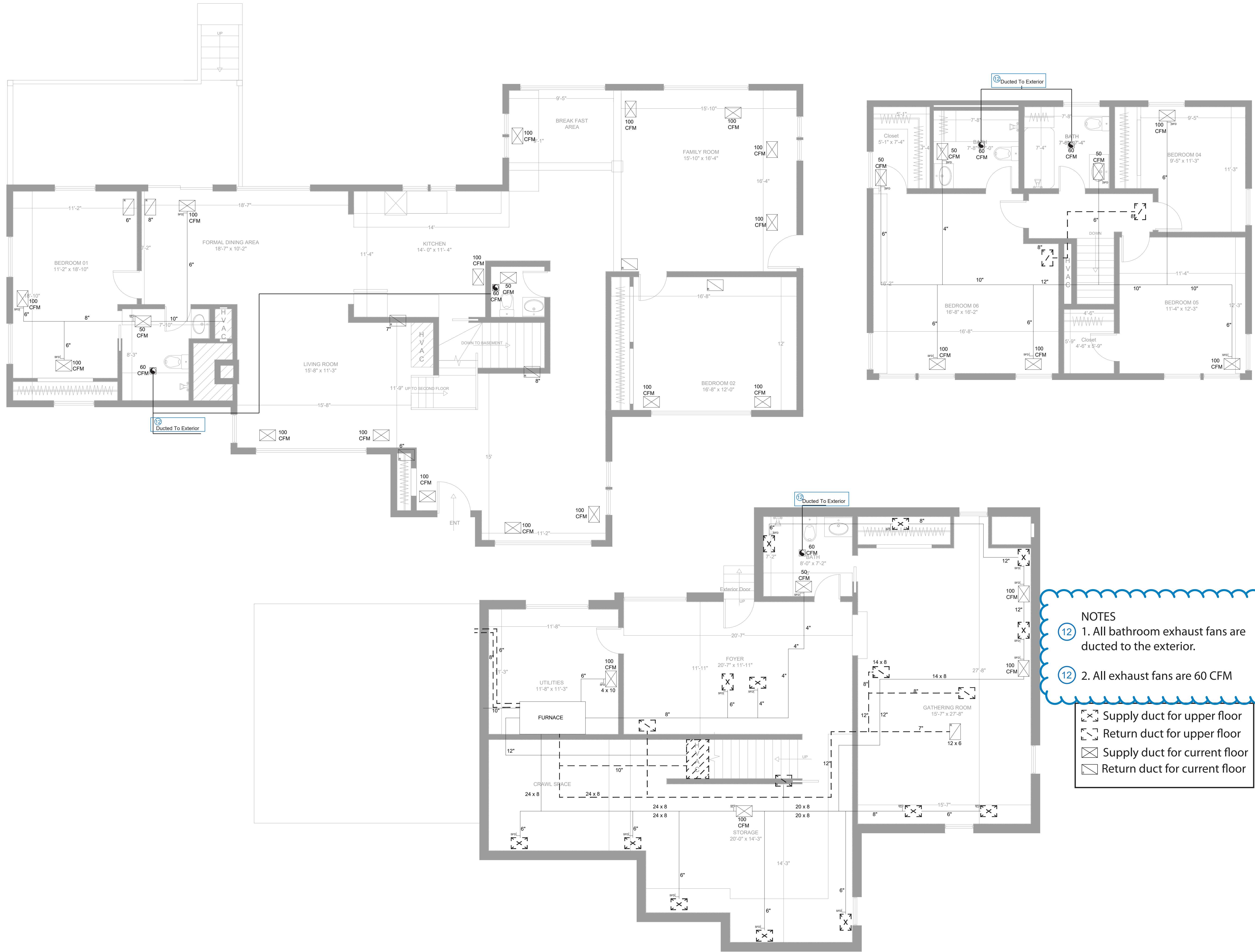
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Sheet Title:
Mechanical Notes & Schedule

Sheet Number:

M-0.0



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Date:
2 - June - 2024

Revision:
R- 2

Scale:
1/4" = 1'-0"

Sheet Title:
Mechanical Plan

Sheet Number:
M-1.0

PLUMBING NOTES

1. PROVIDE ALL LABOR AND MATERIALS FOR A COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH LOCAL AND STATE CODES AND ORDINANCES. INSPECT EXISTING CONDITIONS AND MATERIALS PRIOR TO SUBMITTAL OF BID.

2. PROVIDE SLEEVES FOR PIPING THROUGH EXISTING AND NEW CONSTRUCTION, AND SEAL FOLLOWING PIPEWORK INSTALLATION WITH U.L. APPROVED FIRE RATED SEALANT.

3. ARRANGE PIPING TO PERMIT EQUIPMENT AND FIXTURE REMOVAL. PROVIDE SHUT-OFF VALVES AT ALL EQUIPMENT AND FIXTURES.

4. PRESSURE TEST ALL PIPING SYSTEMS PRIOR TO CONCEALMENT. FIX ALL LEAKS AT ONCE. TEST DURATION SHALL BE A MINIMUM OF ONE HOUR.

5. PROVIDE CODE APPROVED ANTI-SCALD PRESSURE BALANCED PLUMBING FIXTURES.

6. PROVIDE EQUIPMENT SUBMITTALS TO ARCHITECT FOR REVIEW. SUBMITTALS ARE REQUIRED. FOR ALL EQUIPMENT, FIXTURES, FAUCETS, AND ACCESSORIES. ADEQUATELY SUPPORT ALL PIPING AND FIXTURES. PROVIDE EXPANSION LOOPS AS REQUIRED.

7. ALL WATER DISTRIBUTION PIPING SHALL BE COPPER PIPE.

8. SOIL, DRAIN AND VENT LINES SHALL BE APPROVED PVC (SCHEDULE 40) AND SHALL CONFORM TO THE LATEST ASTM SPECIFICATIONS FOR RESIDENTIAL USE.

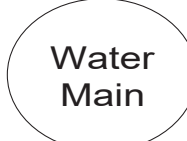
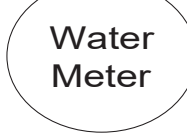
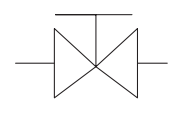
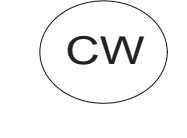
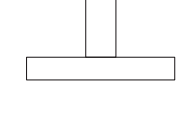
9. ALL WASTE AND VENT PIPING UP TO 3" DIAMETER SHALL BE PVC. OVER 3" SHALL BE CAST IRON OR HARD DRAWN COPPER.

10. CONTRACTOR SHALL PROTECT ALL FIXTURES AND FACETS FROM DAMAGE THROUGH DURATION OF PROJECT. FIXTURES, FAUCETS, AND EQUIPMENT SHALL BE CLEAN, FREE FROM DAMAGE AND OPERATIONAL FLAWS AT PROJECT COMPLETION.

11. PLUMBING CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL LOCAL AND STATE GOVERNING LAWS, CODES, AND ORDINANCES.

12. THE PLUMBING CONTRACTOR SHALL PROVIDE WATER AND WASTE PIPING FOR ALL PLUMBING FIXTURES INDICATED ON THE PLAN. THIS SHALL INCLUDE ALL FIXTURES AND EQUIPMENT IN KITCHEN AND/OR AS INDICATED ON DRAWINGS AND SCHEDULES.

PLUMBING SYMBOLS

	CITY MAIN
	WATER MAIN
	WATER METER
	SHUT-OFF VALVE
	HOT WATER
	COLD WATER
	SHOWER DRAIN
	TOILET LINE CONNECTION

PLUMBING FIXTURE SCHEDULE

Plumbing Fixture Schedule					
Discription	Model	Style	Color	Size	Picture
Kitchen Faucets	MOEN,	Cartridge Faucets	Matte Black	14.56" H	
Vanity Faucets	MOEN	8 in. Widespread Double Handle	Matte Black	5.37" H	
Mirror	Amanti Art	Beveled Casual Rectangle Wood Framed	Midnight Black	21.25 in. x 27.25 in	
Water Heater	Rheem, 40 Gal	38,000 BTU Ultra Low NOx (ULN) Natural Gas Tank Water Heater	Gray	58.5" H	
Water Closet	Glacier Bay 2-piece	1.1 GPF/1.6 GPF High Efficiency Dual Flush Complete Elongated Toilet	White	18.13"W x 27.5"D x 32.5"H	
Shower and Shower Bath Automatic Safety Water Mixing Valves	Watts	Watts - LFMMV-M1-UT -3/4 Union Inlet Type Thermostatic Mixing Valve, No Lead Copper Silicon Alloy, 13gpm	Lead Free Copper Silicon Alloy	6.3 x 4.5 x 2.6 inches	

PLUMBING CALCULATION (IF ANY)

LOAD VALUES PER FIXTURE					
FIXTURE TYPE	OCCUPANCY	TYPE OF SUPPLY CONTROL	NUMBER OF FIXTURES EXISTING	WSFU	LOAD
WATER CLOSET	PRIVATE	FLUSH TANK	5	3	12
BATHROOM SINK (LAVATORY)	PRIVATE	FAUCET	5	1	4
BATHTUB	PRIVATE	FAUCET	1	2	2
SHOWER STALL (PER HEAD)	PRIVATE	MIXING VALVE	3	2	4
KITCHEN SINK	PRIVATE	FAUCET	1	2	2
LAUNDRY TRAY	PRIVATE	FAUCET	0	3	0
DISHWASHER	PRIVATE	AUTOMATIC	1	1	1
LAUNDRY MACHINE	PRIVATE	AUTOMATIC	1	2	2
Total WSFU					27



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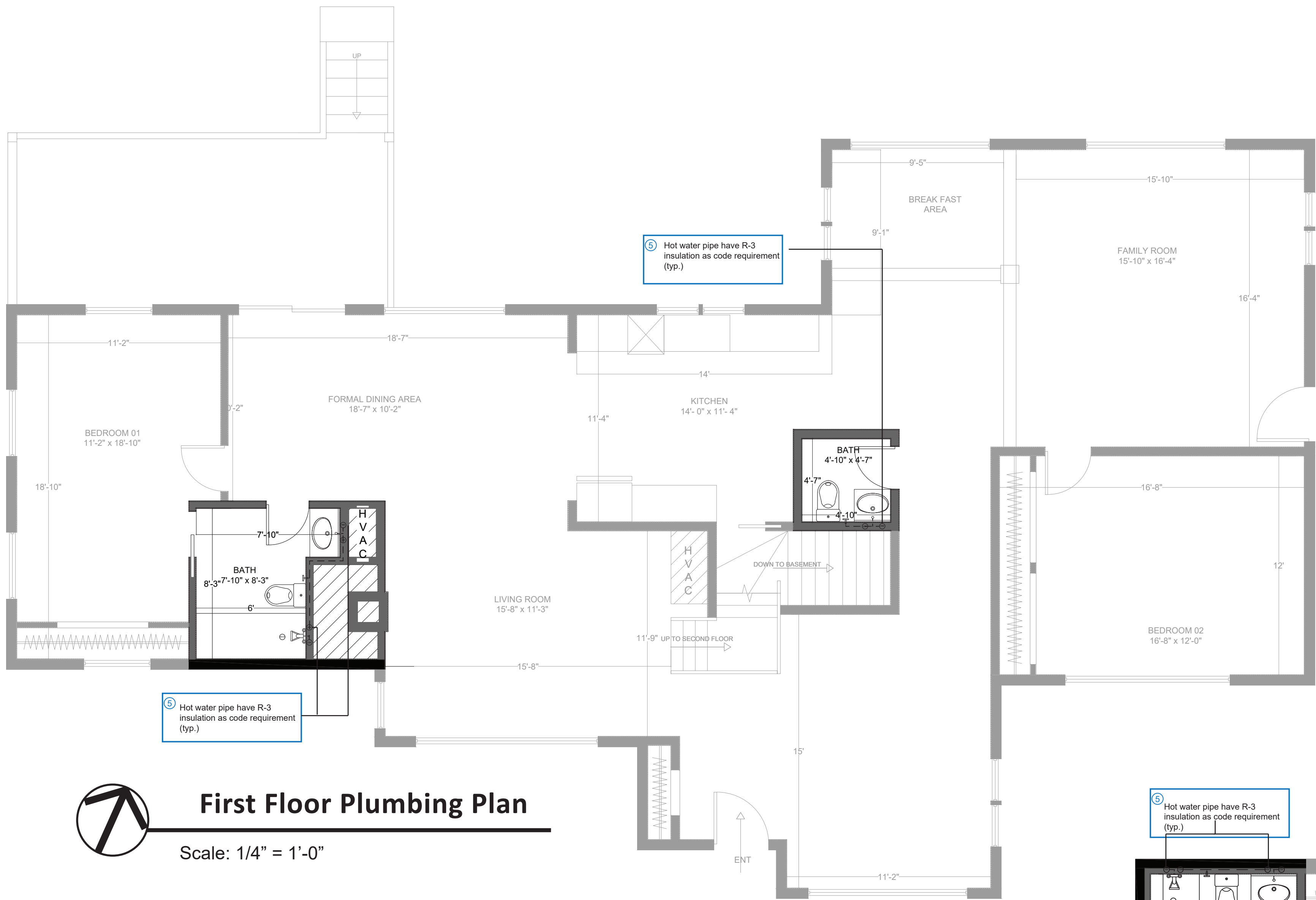
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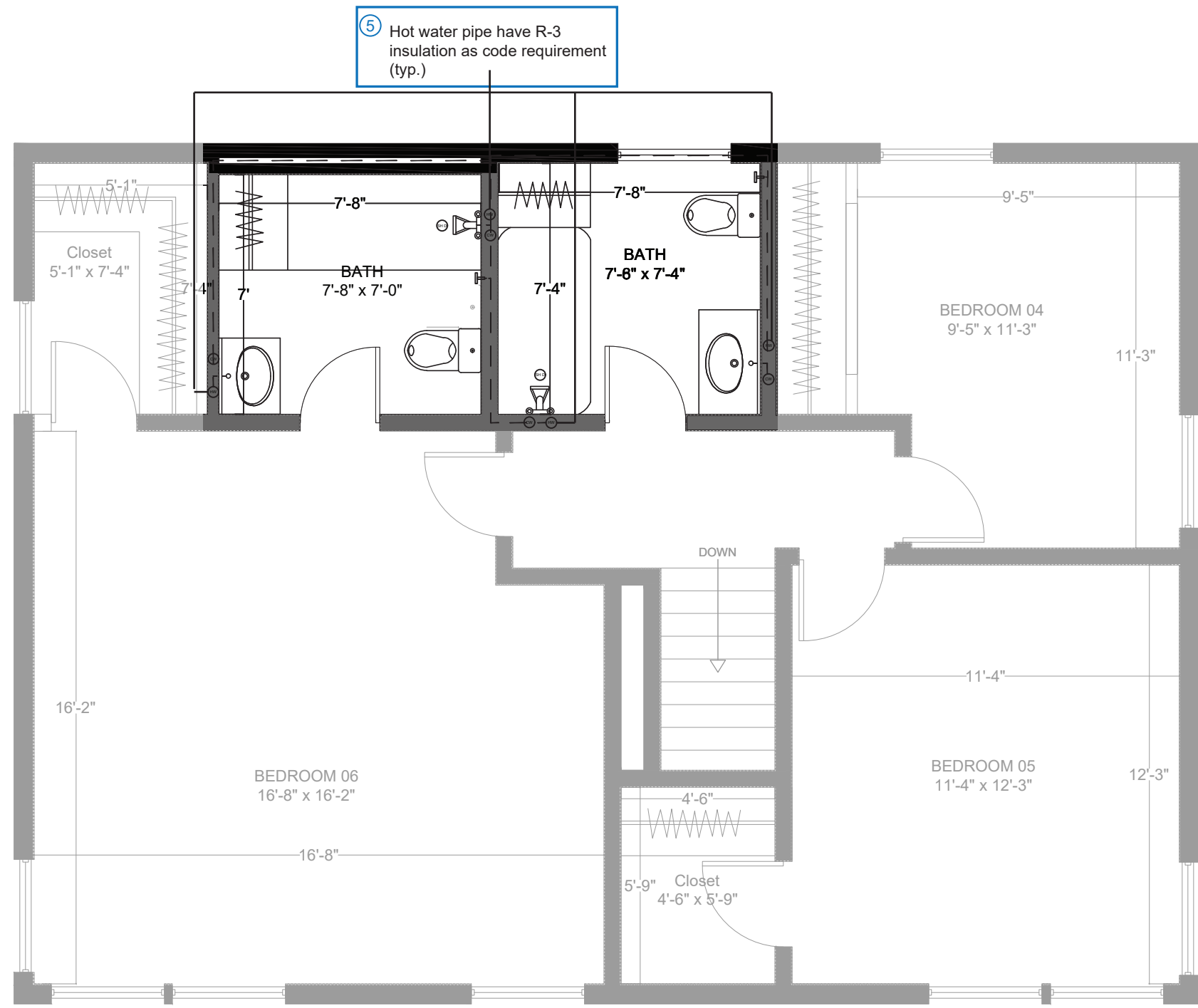
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Sheet Title:
Plumbing Notes & Schedule

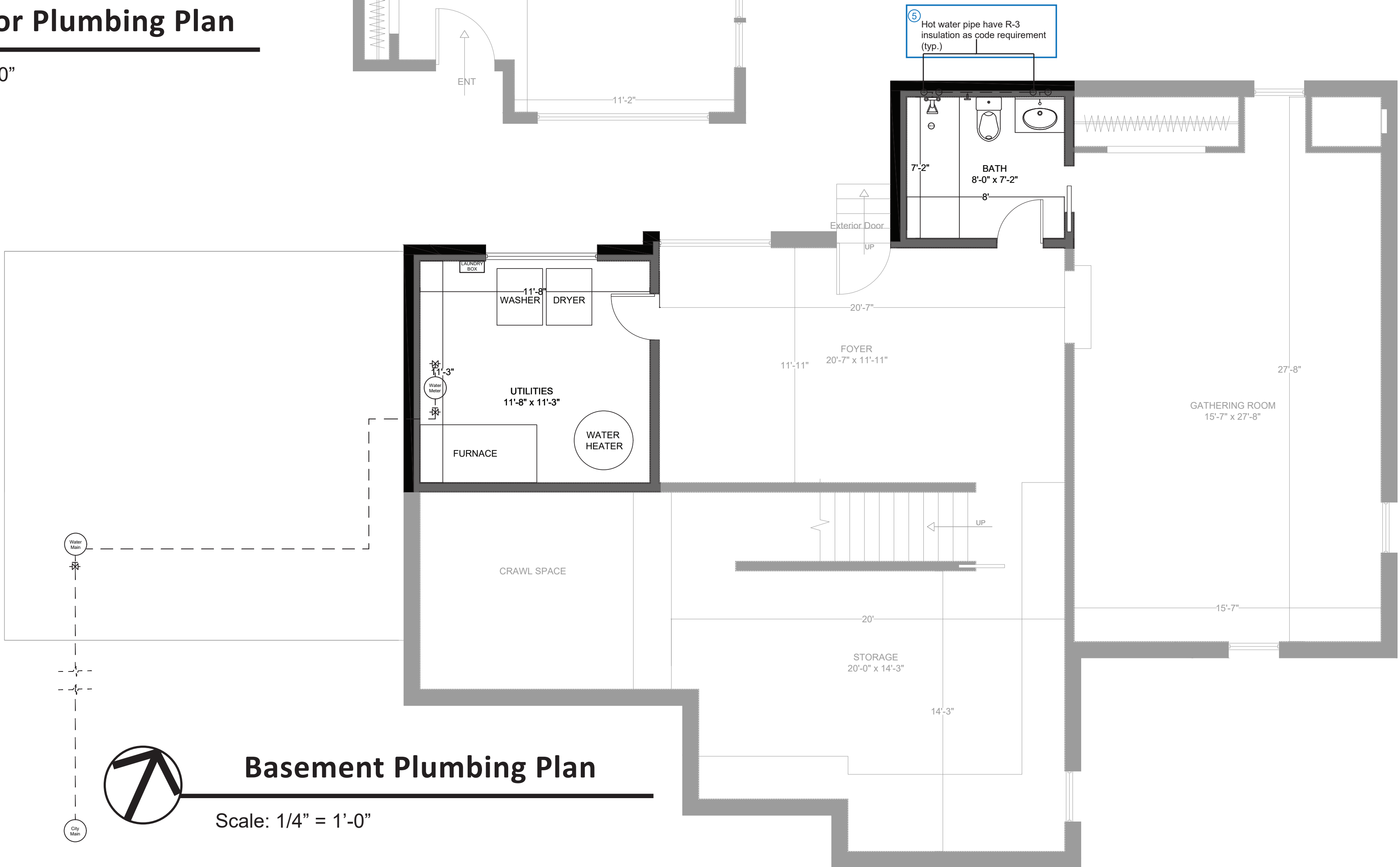
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First Floor Plumbing Plan
Scale: 1/4" = 1'-0"



Second Floor Plumbing Plan
Scale: 1/4" = 1'-0"



Basement Plumbing Plan
Scale: 1/4" = 1'-0"

- IMPORTANT NOTES**
- 1. All hot water pipes have R-3 Insulation (typ.)
 - 2. All shower and shower-bath combination valves are provided with an automatic safety water mixing device and complies with ASSE 1017 & ASSE 1070
 - 3. All shower and bath shower combination valves are adjusted to a maximum setting of 115°F at the time of installation.



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